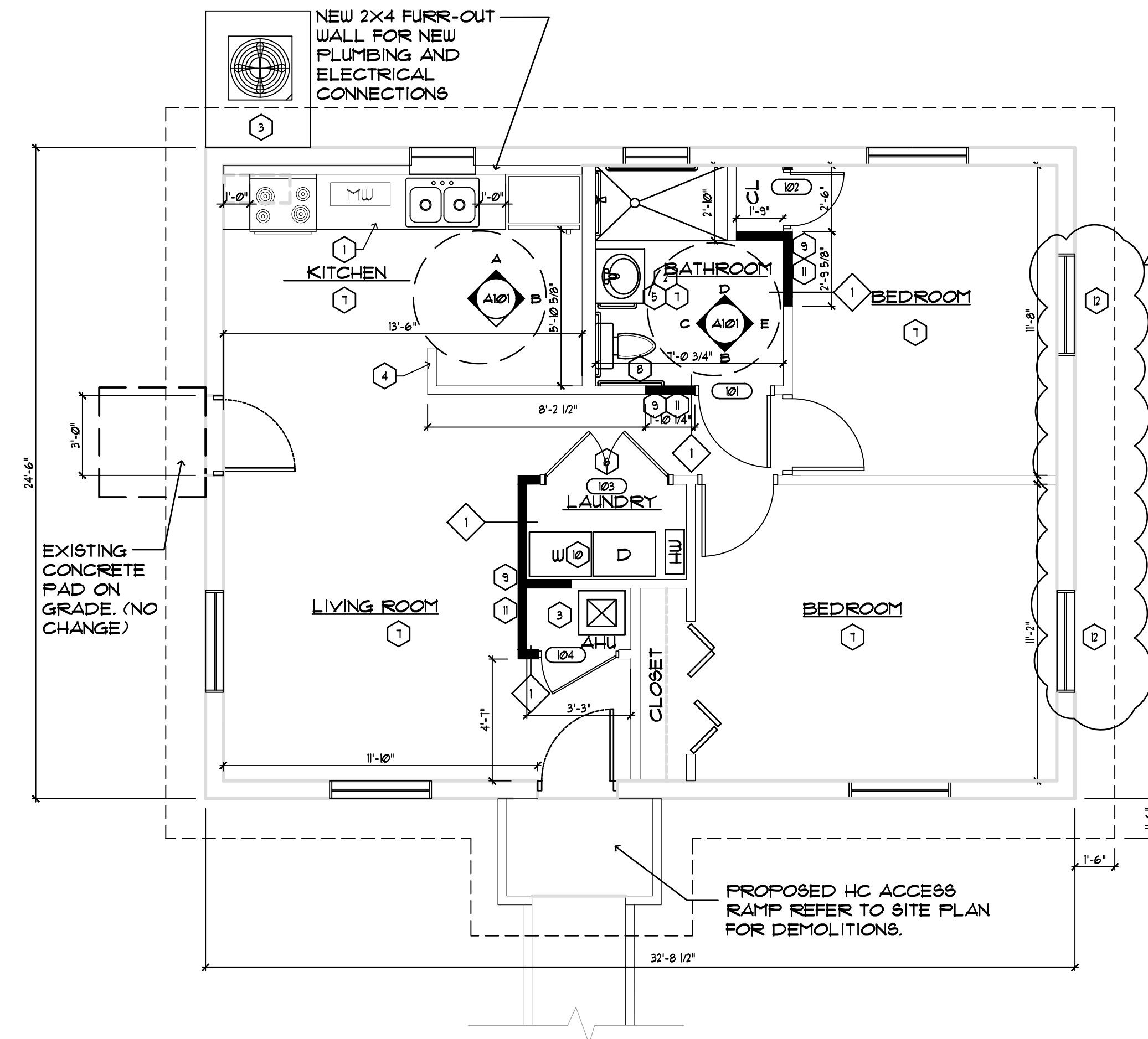


1 EXISTING/DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



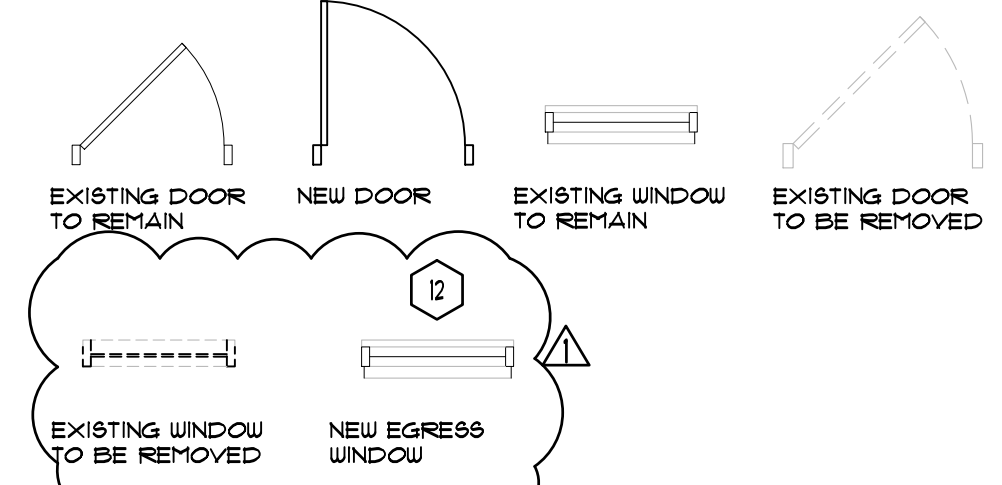
2 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

- ALL EXISTING WORK TO REMAIN, WHICH IS DAMAGED OR MADE IMPERFECT, SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL CONDITION, AS DETERMINED BY THE ARCHITECT.
- HOURS OF WORK, NOISE, USE OF BUILDING GROUNDS, ACCESS TO ADJACENT AREAS, SERVICES, ETC. SHALL ALL BE COORDINATED AND APPROVED BY THE BUILDING MANAGEMENT, PRIOR TO SUBMISSION OF A PROPOSAL. THE USE OF BUILDING SERVICES AND INTERRUPTION OF BUILDING UTILITIES SHALL BE COORDINATED WITH BUILDING MANAGEMENT, PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY COSTS INCURRED TO COORDINATE AND SEEK BUILDING APPROVAL OF WORK ASSOCIATED WITH HIS CONTRACT.
- FOR ABBREVIATIONS, LEGENDS & SYMBOLS, SEE DRAWING 0001.
- COORDINATE THIS DRAWING WITH STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
- SEE INTERIOR ELEVATION FOR KITCHEN CABINETRY & BATHROOM PLUMBING FIXTURES FOR DIMENSIONS.
- ALL DIMENSIONS SHOWN ARE AS FOLLOWS:
- FACE OF EXISTING CONSTRUCTION TO CENTERLINE OF PLUMBING FIXTURE
- FACE OF EXISTING CONSTRUCTION TO CENTER LINE OF COLUMN
- FACE OF EXISTING CONSTRUCTION TO FACE OF WOOD FRAMING
- FACE OF WOOD FRAMING TO FACE OF WOOD FRAMING
- FACE OF WOOD FRAMING TO CENTERLINE OF PLUMBING FIXTURE
- SEE DOOR & WINDOW SCHEDULE FOR NEW WINDOWS & INTERIOR DOORS SIZES

WALL LEGEND

- DEMOLISHED WALL
- EXISTING WALL
- EXISTING CMU WALL
- NEW WALL



WALL PARTITION TYPES

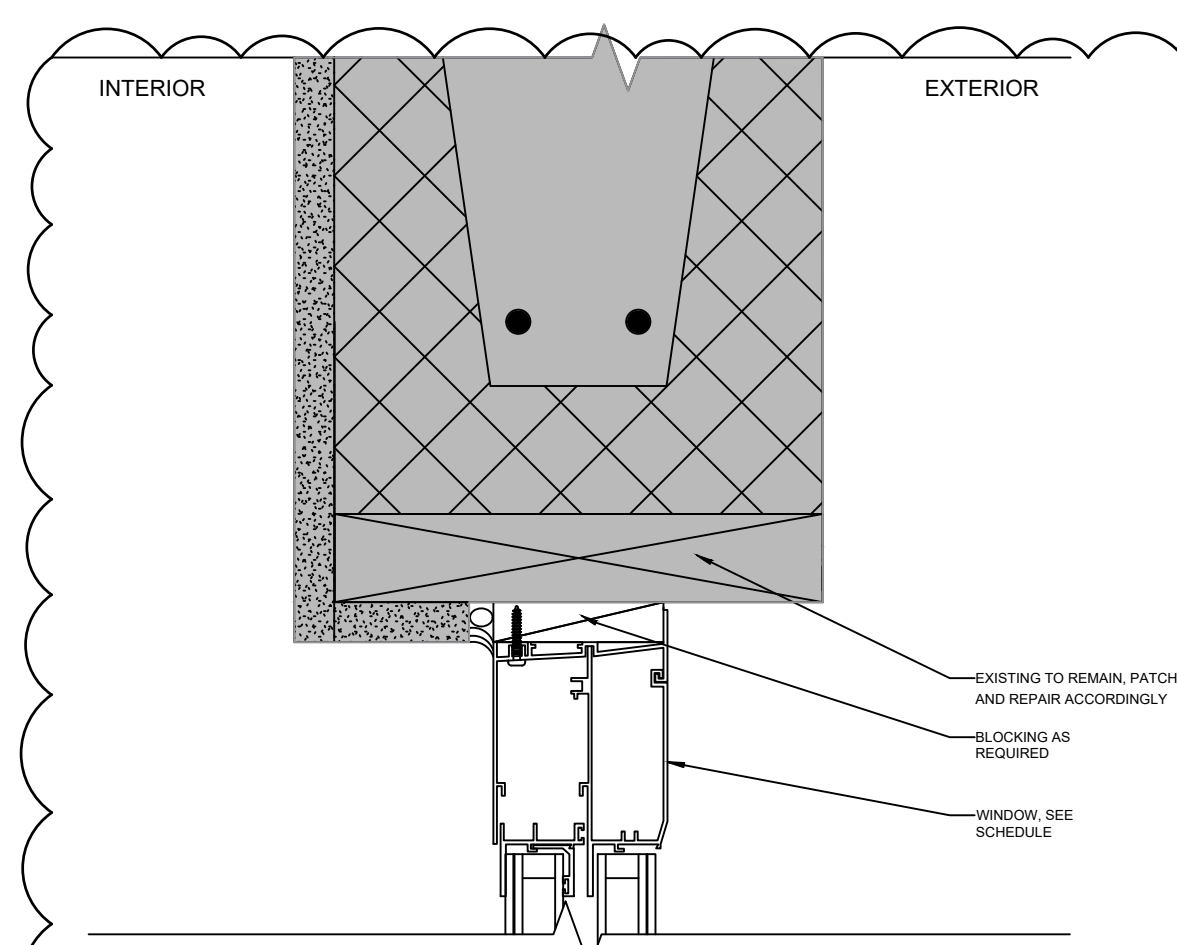
- 2X4 WOOD STUD WALL • 16" O.C., 5/8" GYPSUM BOARD PAINTED ON BOTH SIDES

DEMOLITION NOTES

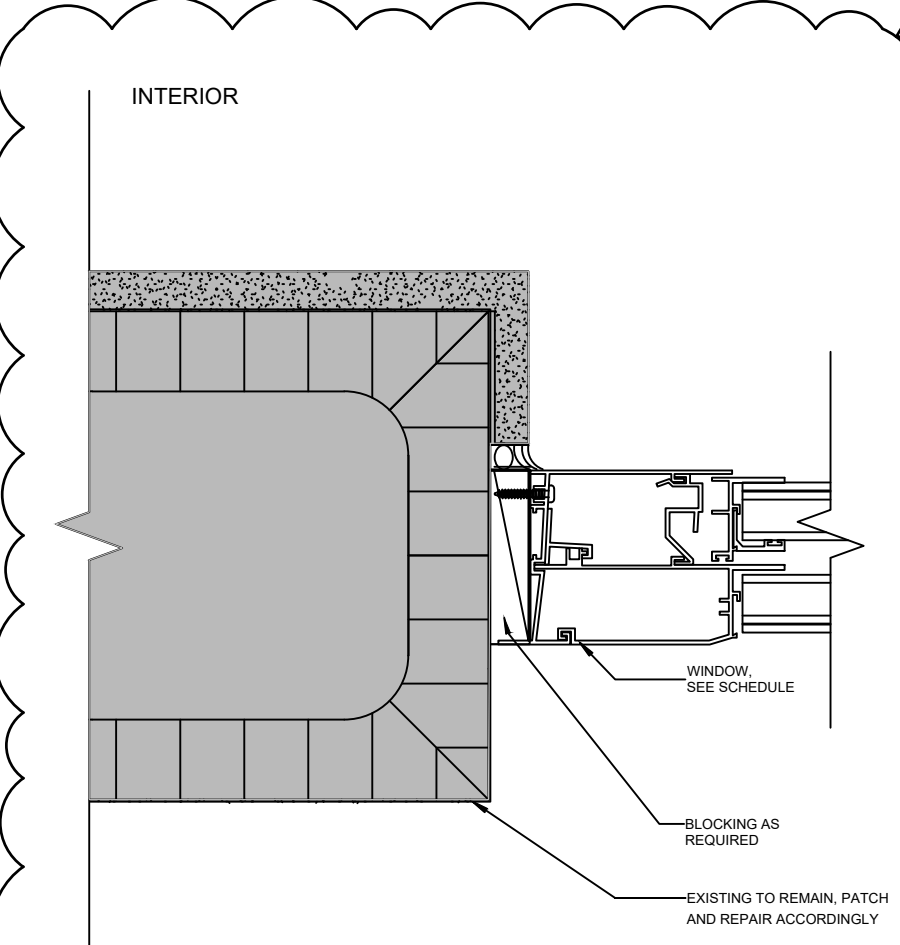
- REMOVE AND REPLACE ALL CABINETS, COUNTERTOP, REPLACE 24" OVEN WITH 30"
- REMOVE AND REPLACE SINK
- REMOVE AND REPLACE REFRIGERATOR
- REMOVE AND REPLACE HVAC UNIT
- REMOVE AND REPLACE FLOOR FINISH
- REMOVE EXISTING DOORS OR CURTAIN ROD WITH DRAPE IN HALLWAY.
- REMOVE AND RELOCATE TOILET SINK
- REMOVE AND RELOCATE EXISTING WALLS
- RELOCATE WASHER/HOOK UPS
- REMOVE SHOWER CURB

LEGEND

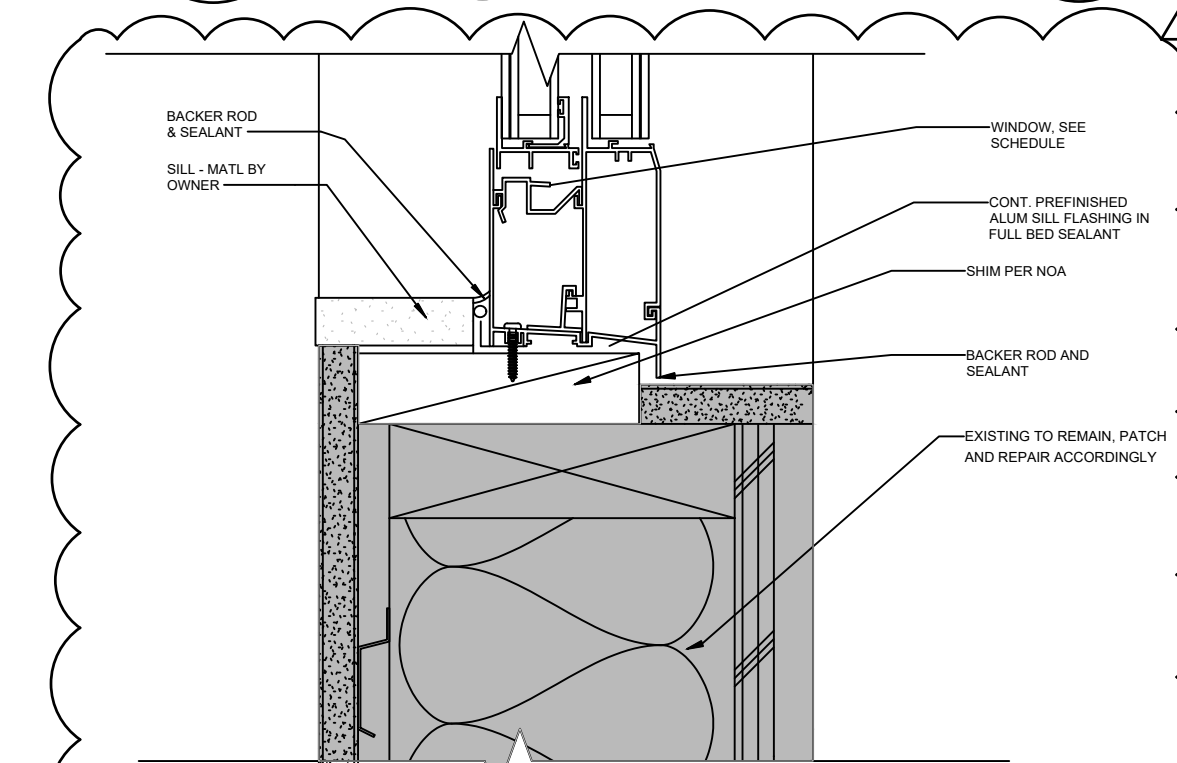
- REMOVE AND REPLACE



H1 WINDOW HEAD DETAIL
SCALE: 4" = 1'-0"



J1 WINDOW JAMB DETAIL
SCALE: 4" = 1'-0"



S1 WINDOW SILL DETAIL
SCALE: 4" = 1'-0"

RENOVATION NOTES

- NEW KITCHEN CASE WORK WITH PLASTIC LAMINATE COUNTERTOP WITH APPLIANCES PROVIDED BY OWNER / CONTRACTOR TO INSTALL.
A. NEW 30 INCH STOVE / OVEN, 30 INCH VENTED HOOD, REFRIGERATOR BY OWNER
B. DISPOSAL INCLUDED WITH NEW KITCHEN SINK
C. ALTERNATE PRICE FOR HARD TOP (STONE)
- NEW BATHROOM FINISHES AND FIXTURES: NEW BASE CABINET WITH LAVATORY AND FAUCET, TOILET, SHOWER FAUCETS WITH SHOWER HEAD.
A. PLUMBING FIXTURES TO BE WATER SAVING DEVICES
- NEW HVAC UNIT WITH CONDENSERS
- UPGRADE ELECTRICAL PANEL.
- NEW FLOORING WITH NEW BASE BATHROOM WALL TILE (LVP 3X8 SOBWAY STYLE).
- NEW PRE-FINISHED OR PRIME WITH TWO (2) FINISH COATS PAINT BI-FOLD LOUVERED DOORS WITH NEW TRACKS AND HARDWARE IN HALLWAY.
- INTERIOR PAINTING - PAINT WALLS, CEILINGS, DOORS, DOOR FRAMES, WOOD BASE AND TRIM
- ADDED HANDRAIL TO TOILET SURROUND WALLS AS REQUIRED PER BUILDING ADA CODE.
- PATCH ALL WALLS.
- RELOCATE WASHER/ DRYER HOOK
- REMOVE AND RELOCATE WALLS
- NEW EGRESS WINDOW TO BE INSTALLED, NEW WINDOW SILL TO BE LOWER THAN EXISTING TO FIT 48" FROM WINDOW HEADER.

ALTERNATE NOTES

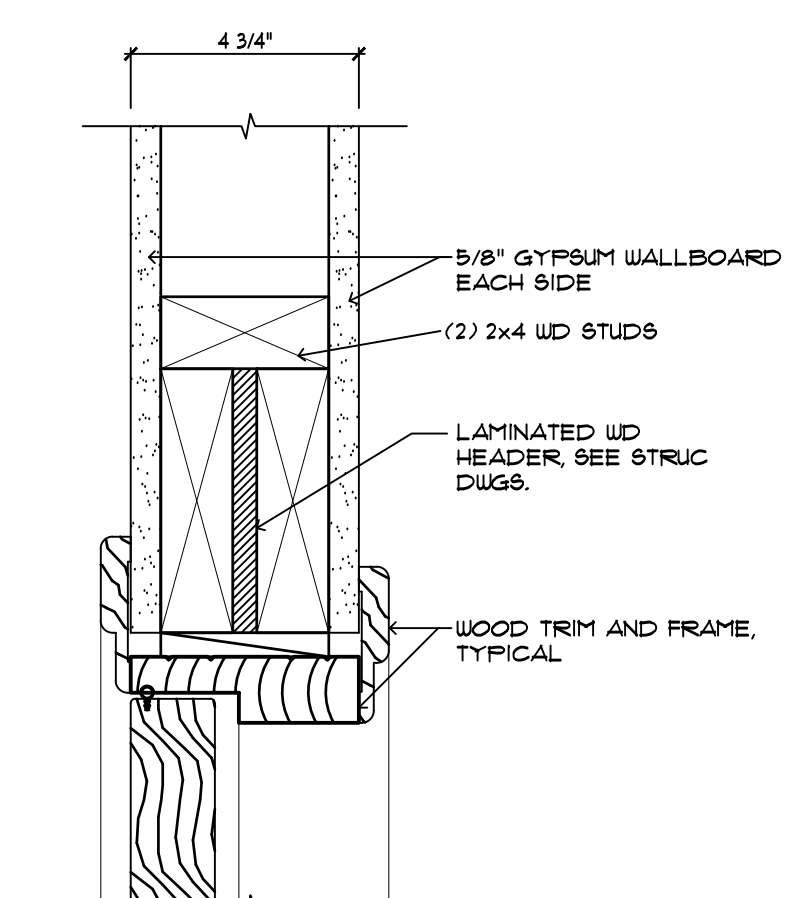
- PROVIDE STONE COUNTERTOPS IN LIEU OF PLASTIC LAMINATE

NEW WINDOW SCHEDULE

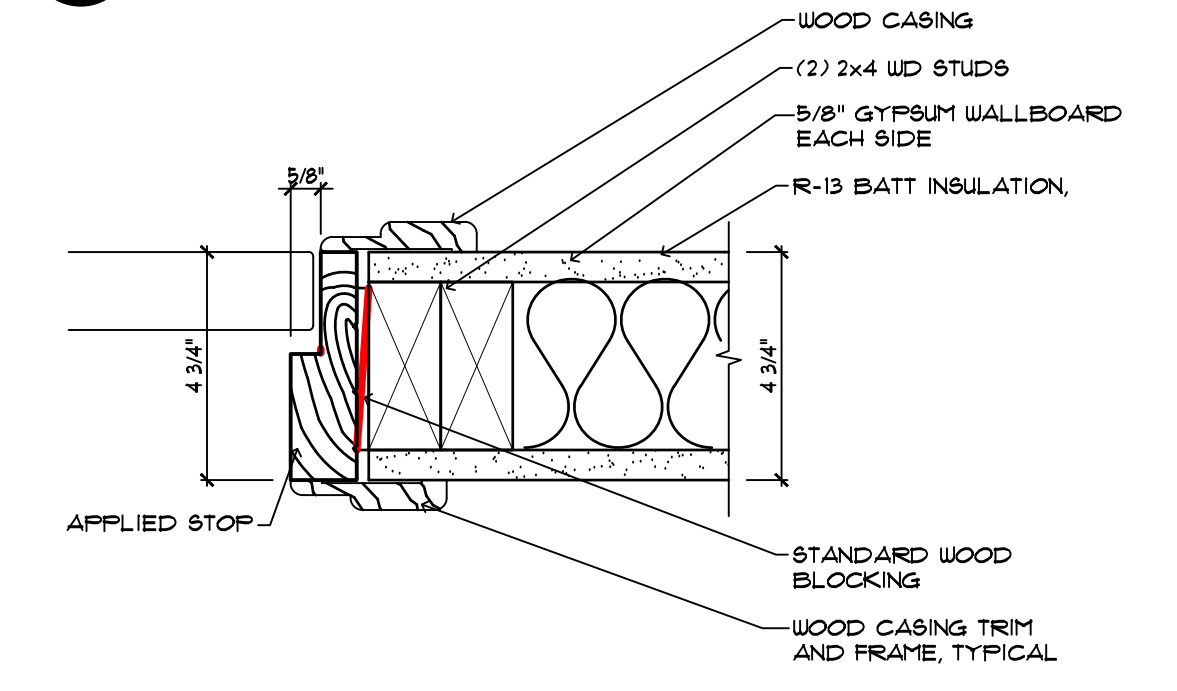
MARK	STYLE	HEIGHT	WIDTH	WINDOW GLASS	FRAME TYPE	FRAME FINISH	HEAD HEIGHT	HEAD DETAIL	JAMB DETAIL	SILL DETAIL
12	SINGLE HUNG	4'-0"	4'-0"	IMPACT RATED	VINYL		EXISTING	H1	J1	S1

DOOR SCHEDULE

DOOR				FRAME		DETAILS			
DOOR TAG	ROOM NAME	SIZE	TYPE	MATERIAL	FINISH	TYPE	HEAD	JAMB	HARDWARE SET
101	BATHROOM	3'-0" X 1'-0"	SINGLE PRE-HUNG	WOOD	PRIMED	WOOD			PRIVACY
102	CLOSET	2'-0" X 1'-0"	SINGLE PRE-HUNG	WOOD	PRIMED	WOOD			
103	LAUNDRY ROOM	5'-0" X 1'-0"	DOUBLE PRE-HUNG	WOOD	PRIMED	WOOD			PRIVACY
104	CLOSET	2'-10" X 1'-0"	SINGLE PRE-HUNG	WOOD	PRIMED	WOOD			



4 TYPICAL INTERIOR WALL WOOD FRAME DOOR HEAD DETAIL
SCALE: 3" = 1'-0"



5 TYPICAL INTERIOR WALL WOOD FRAME DOOR JAMB DETAIL
SCALE: 3" = 1'-0"

BESSOLO
DESIGN GROUP, INC.
ARCHITECTURE ■ DEVELOPMENT
License #AAC002117
1 Beach Dr SE Suite 201M
ST. PETERSBURG, FL 33701
727 894-4453 www.bessolo.com

PROFESSIONAL SEAL

KEVIN J. BESSOLO
AR12069
(COPYRIGHT BESSOLO DESIGN GROUP, INC. THE DRAWING AND ALL INFORMATION CONTAINED, INCLUDING ALL RELATED DIGITAL DRAWINGS OR FILES HEREIN ARE THE EXCLUSIVE PROPERTY OF BESSOLO DESIGN GROUP, INC. AND MUST BE RETURNED UPON REQUEST. NO PART OF THIS DRAWING OR ANY INFORMATION HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. ALL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION PURPOSES. UNLESS NOTED AND SEALED BY KEVIN J. BESSOLO.)

ACHA TO5 UNIT
1310 NW 155TH LN
ALACHUA, FL 32615

ISSUED
DATE: 09-26-23
ISSUED FOR: CONSTRUCTION DOCUMENTS

REVISIONS		
NO.	DATE	DESCRIPTION
1	11/22/2023	ADDENDUM 1

PROJECT NO.: 2304500
DRAWN BY: SB
PROJECT MANAGER: AS
CHECKED BY: KJB
DATE: 09-26-23
SCALE: 1/4" = 1'-0"

A101
FIRST FLOOR PLAN,
INTERIOR ELEVATIONS,
DOOR SCHEDULE