
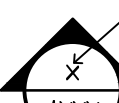
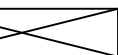



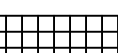
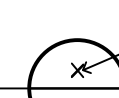
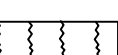

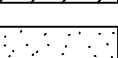

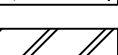



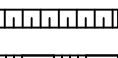








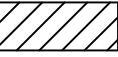
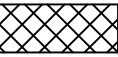

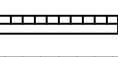
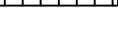


**703 NORTHEAST 1ST STREET
GAINESVILLE, ALACHUA COUNTY, FL. 32601**




MATERIAL LEGEND	SYMBOL LEGEND
 FINISH WOOD	 INDICATES SECTION NUMBER
 ROUGH WOOD	 INDICATES SHEET WHERE SECTION IS DRAWN
 BATT INSULATION	 INDICATES INTERIOR ELEVATION NUMBER
 RIGID INSULATION	 INDICATES SHEET WHERE INTERIOR ELEVATION IS DRAWN
 CERAMIC TILE	 INDICATES DETAIL NUMBER
 GYPSUM WALLBOARD	 INDICATES SHEET WHERE DETAIL IS DRAWN
 METAL (LARGE SCALE)	 INDICATES NUMBER AND SHEET WHERE EXTERIOR ELEVATION IS DRAWN
 METAL (SMALL SCALE)	 TOP OF SLAB 0'-0" F.F.E.
 ACOUSTICAL TILE	 ELEVATION LINE FLOOR/DATUM
 EARTH	 WINDOW TAG
 POROUS FILL	 DOOR TAG
 PRECAST CONCRETE	 TOILET ACCESSORIES
 STRUCTURAL CONCRETE	PARTITION TYPE
 BRICK	INTERIOR FINISH TAG
 CONCRETE MASONRY UNITS	
 FLYWOOD	
 TILE ON CONCRETE	
 RESILIENT FLOORING	

GENERAL NOTES	
1.	ALL WORK SHALL COMPLY WITH THE BUILDING CODE OF THE STATE OF FLORIDA, AND ALL OTHER LOCAL, COUNTY, STATE AND FEDERAL AGENCIES HAVING JURISDICTION OVER THE WORK. THE MORE STRINGENT CODE SHALL APPLY IF CONFLICT EXISTS IN OR BETWEEN CODES.
2.	THE CONTRACTOR(S) SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT AND INCIDENTALS NECESSARY AND/OR REQUIRED TO PERFORM AND COMPLETE THE ENTIRE PROJECT.
3.	ALL WORK SHALL BE TRUE, LEVEL, AND OF THE BEST WORKMANSHIP FOR EACH TRADE. ALL MECHANICS SHALL BE SKILLED AND/OR APPROPRIATELY LICENSED BY THE AUTHORITIES HAVING JURISDICTION OVER SUCH.
4.	ALL DIMENSIONS SHOWN ARE ACTUAL FACE METAL STUD DIMENSIONS, FACE OF CMU, AND/OR CENTERLINE OF OF STRUCTURE DIMENSIONS UNLESS OTHERWISE INDICATED.
5.	WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS.
6.	ANY VARIATIONS FROM CONDITIONS SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. WORK SHALL NOT PROCEED UNTIL CLARIFICATION HAS BEEN RECEIVED.
7.	SHOP DRAWINGS, WHERE APPLICABLE, MUST BE SUBMITTED FOR APPROVAL, PRIOR TO FABRICATION.
8.	DISCREPANCIES AND OMISSIONS ON DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE ARCHITECT IN WRITING FOR CLARIFICATION AS A REQUEST FOR INFORMATION (RFI).
9.	ALL EXISTING ITEMS SCHEDULED TO REMAIN, WHICH IS DAMAGED OR MADE IMPERFECT, SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL CONDITION, AS DETERMINED BY THE ARCHITECT.
10.	NO WORK SHALL COMMENCE UNTIL A BUILDING PERMIT HAS BEEN ISSUED.
11.	SEPARATE PERMITS ARE TO BE OBTAINED FOR ELECTRICAL AND PLUMBING WORK.
12.	ALL SUBCONTRACTORS SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND LICENSES AND BE RESPONSIBLE FOR HAVING THEIR WORK INSPECTED BY THE AUTHORITIES HAVING JURISDICTION.
13.	EACH CONTRACTOR AND/OR SUBCONTRACTOR SHALL COORDINATE HIS OWN WORK WITH OTHER TRADES.
14.	ALL CONTRACTORS AND/OR SUBCONTRACTORS SHALL USE APPROVED STANDARD: AISC, FEDERAL US, ETC, OSHA STANDARDS, STANDARDS OF THEIR TRADES. ALL CONSTRUCTION SHALL BE PERFORMED TO THESE STANDARDS.
15.	ALL LUMBER, IN CONTACT WITH CONCRETE OR MASONRY, SHALL BE PRESSURE PRESERVATIVE TREATED.
16.	EACH CONTRACTOR SHALL REMOVE AND DISPOSE OF HIS OWN DEBRIS AS PER CONTRACT SPECIFICATIONS AND PREMISES SHALL BE LEFT BROOM CLEANED ON A DAILY BASIS. ALL AREAS NOT INVOLVED IN THE WORK SHALL BE PROTECTED FROM DAMAGE, DUST, DEBRIS, ANY DAMAGE TO ADJACENT AREAS OCCASIONED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR. THE CONTRACTOR IS TO MAINTAIN BUILDING IN A WEATHER-TIGHT CONDITION AGAINST INCLEMENT WEATHER AT ALL TIMES.
17.	LARGE SCALE DETAILS HAVE PRECEDENCE, HOWEVER, WORK INDICATED ON SMALL SCALE DRAWINGS SHALL NOT BE OMITTED. SIMILARLY, NOTES TAKE PRECEDENCE OVER SCHEDULES, PIPING AND WIRING DIAGRAMS, HOWEVER, WORK SHOWN OR DESCRIBED BY OTHER METHODS SHALL NOT BE OMITTED. CONFLICTS BETWEEN LARGE AND SMALL SCALE DETAILS/DRAWINGS SHALL BE ADDRESSED IN WRITING TO A/E PRIOR TO COMMENCING WORK.
18.	CUT AND PATCH ALL EXISTING FINISHES AS REQUIRED BY NEW WORK. MATCH AND FINISH TO PRESENT FINISHED SURFACES OR AS INDICATED.
19.	CONTRACT LIMIT LINES ARE SHOWN ONLY FOR GENERAL PURPOSES. THEY DO NOT LIMIT THE WORK UNDER CONTRACT FOR ISOLATED ITEMS BEYOND SUCH LIMIT LINES.
20.	ALL WORK LET UNDER THIS CONTRACT SHALL BE GUARANTEED AND HONORED BY THE G.C. FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF FINAL PAYMENT, WHICH SHALL CONSTITUTE FINAL ACCEPTANCE.
21.	EACH CONTRACTOR SHALL DO THE NECESSARY CUTTING, PATCHING, REMOVAL, ETC. AS REQUIRED BY THEIR WORK. EACH INDIVIDUAL CONTRACTOR (TRADE) SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING WORK WHICH SHALL BE REPLACED BY NEW, WHERE REQUIRED, UPON COMPLETION OF ALL WORK. THE CONTRACTORS SHALL REPAIR IMPROPER WORK TO THE SATISFACTION OF THE CODE ENFORCEMENT OFFICIAL AND ARCHITECT AND/OR OWNERS AT THE CONTRACTOR'S EXPENSE.
22.	HOURS OF WORK, NOISE, USE OF BUILDING GROUNDS, ACCESS TO ADJACENT AREAS, SERVICES, ETC. SHALL ALL BE COORDINATED AND APPROVED BY THE OWNER PRIOR TO SUBMISSION OF A PROPOSAL. THE USE OF BUILDING SERVICES AND INTERRUPTION OF BUILDING UTILITIES SHALL BE COORDINATED WITH BUILDING MANAGEMENT, PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY COSTS INCURRED TO COORDINATE AND SEEK BUILDING APPROVAL OF WORK ASSOCIATED WITH HIS CONTRACT.
23.	THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE PERFORMANCE OF THE GENERAL CONTRACTOR, NOR ANY ASSOCIATED SUBCONTRACTORS PERFORMING WORK UNDER THIS CONTRACT.
24.	ALL CONTRACTORS BIDDING ON THIS PROJECT SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS. PRIOR TO SUBMISSION OF A BID, FURTHERMORE, WHERE NO SPECIFIC BRAND OR MODEL IS SPECIFIED, THE CONTRACTORS SHALL PROVIDE SUCH, INCLUDING MANUFACTURERS' CUT SHEETS AS A PART OF THEIR BID.
25.	IF THE CONTRACTOR WANTS TO SUBSTITUTE ANY SPECIFIED EQUIPMENT, THAT PRODUCT SHOULD BE SUBMITTED ON THE APPROPRIATE FORM WITH THE CONTRACTORS SUBMITTAL. SEE SPECIFICATIONS FOR SUBSTITUTION PROCEDURES.
CODES REFERENCED	
2010 -	FLORIDA BUILDING CODE SEVENTH EDITION
2010 -	FLORIDA BUILDING CODE SEVENTH EDITION - ACCESSIBILITY
2010 -	FLORIDA BUILDING CODE SEVENTH EDITION - EXISTING BUILDING
2010 -	FLORIDA BUILDING CODE SEVENTH EDITION - FUEL GAS
2008 -	FLORIDA ADMINISTRATIVE CODE, CHAPTER 39-04
2008 -	FLORIDA ADMINISTRATIVE CODE, CHAPTER 58
2010 -	NFPA 70 NATIONAL ELECTRIC CODE
2010 -	NFPA 72 NATIONAL FIRE ALARM CODE

SCOPE OF WORK WOULD CONSIST OF THE FOLLOWING:

- SELECTIVE DEMOLITION/REMOVAL OF EXISTING WALLS, DOORS, FIREPLACE, AND ELECTRICAL OUTLETS.
- NEW CONSTRUCTION WILL CONVERT TWO OPEN OFFICES INTO FOUR PRIVATE OFFICES.

PRODUCT APPROVAL INFORMATION:



NEW WINDOW:
ANDERSEN CORPORATION, 4000 SERIES,
TILT/WHASH DOUBLE HUNG WINDOWS
FL 151522

STATE OF FLORIDA BUILDING CODE		PROJECT: ALACHUA COUNTY H	
2020 EDITION-7TH EDITION		PRO	
BUILDING CODE ANALYSIS		DA	
DESCRIPTION	FLORIDA BUILDING C		
	SECTION	REQUIRED	
COMPLIANCE METHODS- CHAPTER 3	EBC 301	301.1.1, 301.1.2, OR 301.1.3	
WORK AREA COMPLIANCE METHOD	301.1.2	COMPLIANCE WITH FLORIDA BUILDING CODE CHAPTERS 7, 8	
CLASSIFICATION OF WORK- CHAPTER 5			
WORK AREA IDENTIFICATION	501.2		
ALTERATIONS LEVEL 2	504.1	COMPLIANCE WITH FLORIDA BUILDING CODE CHAPTERS 7, 8	
ALTERATIONS LEVEL 1 - CHAPTER 7			
INTERIOR FINISHES AND TRIM	702.1, 701.2, 701.3	INTERIOR FINISHES AND TRIM SHALL BE IN C 8, FLORIDA BUILDING CODE	
MATERIALS AND METHODS	702.6	ALL NEW WORK SHALL COMPLY WITH FLORI FLORIDA BUILDING CODE MECHANICAL, ENER FLORIDA BUILDING CODE PLUMBING	
REPLACEMENT OF WINDOWS AND DOORS	707.4	REPLACEMENT OF WINDOWS AND DOORS SI WITH CHAPTER 16, FLORIDA BUILDING CODE	
ALTERATIONS LEVEL 2 - CHAPTER 8			
OCCUPANCY REQUIREMENTS	804.1.6	THE NUMBER OF OCCUPANTS AND EGRESS H	
ELECTRICAL NEW/EXISTING	808.1 / 808.2	ALL NEW WIRING SHALL BE IN COMPLIANCE EXISTING WIRING WITHIN WORK AREA SHALL CHAPTER 7. ALL NEW ELECTRICAL DEVICES INSTALLED/ADHERE TO THE 2020 FBC, 7TH E	
MECHANICAL	809.1	RECONFIGURED SPACES INTENDED FOR OC PROVIDED WITH NATURAL OR MECHANICAL V	

[illegible]

BESSOLO
DESIGN GROUP, INC.

ARCHITECTURE ■ DEVELOPMENT
License #AA-C002117
7901 41TH ST. NORTH, SUITE 200
ST. PETERSBURG, FL 33702
727 894-4453 www.bessolo.com

PROFESSIONAL SEAL

KEVIN J. BESSOLO
AR12069

©COPYRIGHT BESSOLO DESIGN GROUP, INC.
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN, INCLUDING ALL
IMPLICIT OR EXPLICIT DRAWINGS OR FILES HEREIN ARE THE EXCLUSIVE
PROPERTY OF BESSOLO DESIGN GROUP, INC. AND SHALL NOT BE COPIED OR
USED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN CONSENT OF
BESSOLO DESIGN GROUP, INC. AND MAY BE THE SUBJECT OF A PATENT.
ALL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION
PURPOSES. UNLESS INDICATED AND DETAILED BY KEVIN J. BESSOLO

ALACHUA COUNTY
HOUSING AUTHORITY
T03 NORTHEAST 1ST STREET
GAINESVILLE, ALACHUA COUNTY, FL. 32601

ISSUED	
DATE:	ISSUED FOR:
1/10/2022	CONSTRUCTION DOCUMENTS

[illegible]

PROJECT NO: 2108800
DRAWN BY: FLM
PROJECT MANAGER: KJB
CHECKED BY: KJB
DATE: 1/10/2022
SCALE: NOT TO SCALE

GOO!

.....

INDEX OF DRAWINGS

DEMOLITION NOTES

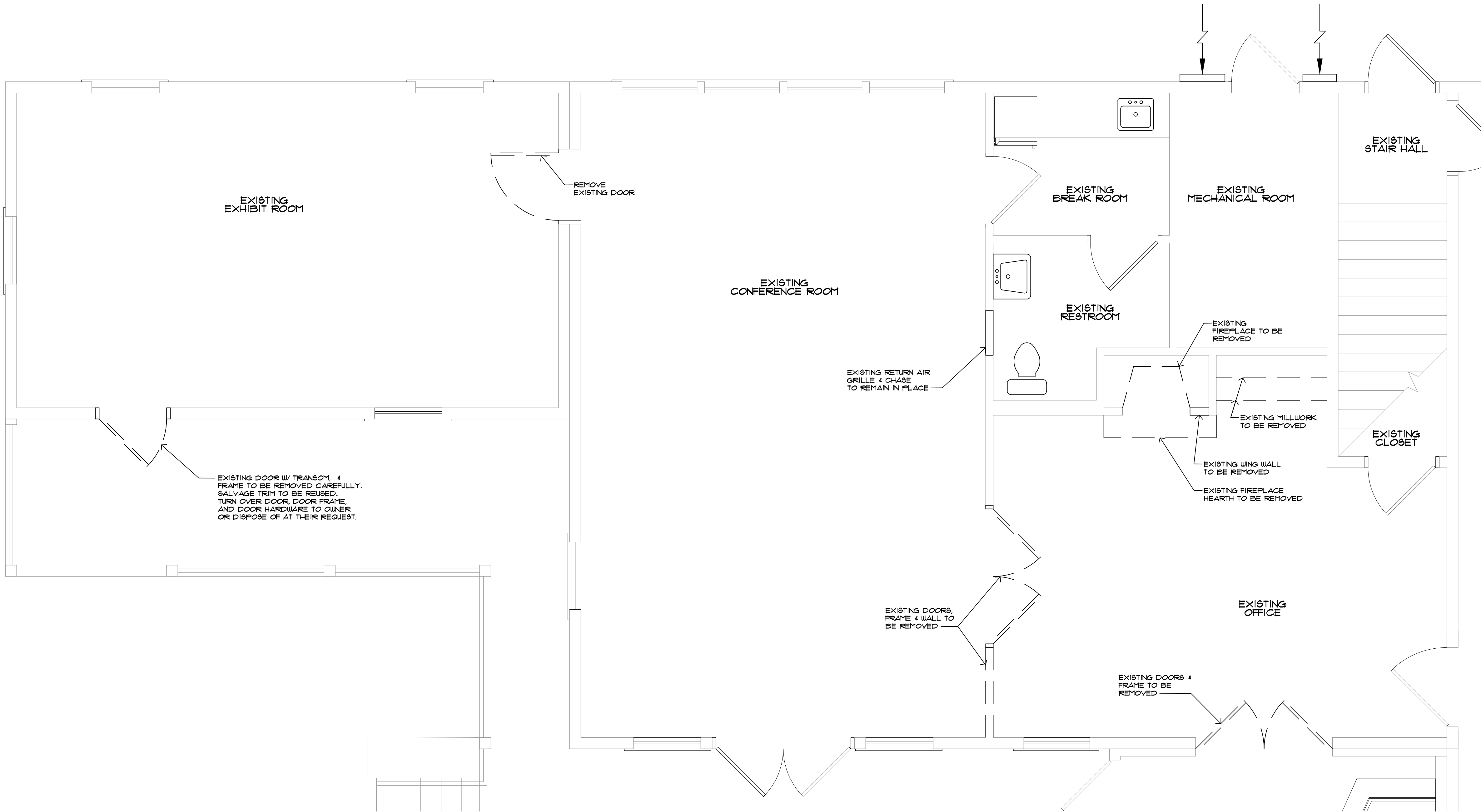
- 1. PRIOR TO BIDDING THE CONTRACTOR SHALL VISIT THE FACILITY AND THOROUGHLY FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS. COORDINATE VISIT WITH OWNER.
- 2. PROTECT FROM DAMAGE ANY ITEM THAT IS SCHEDULED TO REMAIN OR BE REUSED.
- 3. PROVIDE, ERECT AND MAINTAIN TEMPORARY SCREENS/BARRICADES AS REQUIRED TO PROTECT THE PUBLIC AND WORKERS FROM DUST, FUMES, AND ANY OTHER HAZARD.
- 4. CONTRACTOR SHALL NOTIFY THE OWNER 48 HOURS IN ADVANCE OF INITATING ANY DISRUPTFUL ACTIVITIES. COORDINATE ABOVE ACTIVITIES WITH OWNER. SPECIFIC DEMOLITION NOTES ARE NOT TO BE CONSIDERED ALL INCLUSIVE OR COMPLETE IN THEMSELVES. CONTRACTOR SHALL PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW AND RENOVATED CONSTRUCTION WHETHER SPECIFICALLY NOTED.
- 5. WHERE THE PRESENCE OF HAZAROUDS MATERIALS, INCLUDED, BUT NOT LIMITED TO ASBESTOS, LEAD PAINT, ETC, IS SUSPECTED, THE CONTRACTOR SHALL NOTIFY THE OWNER WHO WILL ARRANGE TO ENGAGE THE SERVICES OF A LICENSED ASBESTOS, LEAD PAINT, ETC, REMOVAL FIRM, UNDER THE CONTRACT OF THE OWNER.
- 6. CONTRACTOR SHALL PROVIDE ADDITIONAL DEMOLITION INCIDENTAL TO DEMOLITION INDICATED ON PLANS, INCLUDING BUT NOT LIMITED TO REMOVAL OF ELECTRICAL AND FIREFALCE EXHAUST/VENTS. CONTRACTOR SHALL CAP/TERMINATE IN ACCORDANCE WITH APPLICABLE CODES.
- 7. REMOVE MATERIALS IN THE CEILING, WALLS AND FLOOR AS NECESSARY FOR THE INSTALLATION OF NEW EQUIPMENT. REFER TO THE MECHANICAL AND ELECTRICAL DRAWINGS.

WALL LEGEND

- DEMOLISHED WALL
- EXISTING WALL
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED

WALL RATINGS

- EXISTING SMOKE TIGHT PARTITION
- EXISTING 1 HOUR FIRE BARRIER
- EXISTING 1 HOUR FIRE PARTITION
- EXISTING 1 HOUR MIN. FIRE SMOKE BARRIER
- EXISTING 2 HOUR FIRE BARRIER
- EXISTING 2 HOUR FIRE WALL
- EXISTING 3 HOUR FIRE WALL



DEMOLITION
PARTIAL FIRST FLOOR PLAN

SCALE: 3/8" = 1'-0"



BESSOLO
DESIGN GROUP, INC.
ARCHITECTURE ■ DEVELOPMENT
License #A-A-0002117
7901 4TH ST. NORTH, SUITE 200
ST. PETERSBURG, FL 33702
727 894-4453 www.bessolo.com

PROFESSIONAL SEAL

KEVIN J. BESSOLO
AR12069

(COPYRIGHT BESSOLO DESIGN GROUP, INC.
THIS DRAWING AND ALL INFORMATION CONTAINED, INCLUDING ALL
RELATED DIGITAL DRAWINGS OR FILES HEREIN ARE THE EXCLUSIVE
PROPERTY OF BESSOLO DESIGN GROUP, INC. AND MUST BE RETURNED UPON REQUEST.
ALL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION
PURPOSES UNLESS SOLELY AND EXPLICITLY NOTED BY BESSOLO.)

**ALACHUA COUNTY
HOUSING AUTHORITY**
103 NORTHEAST 1ST STREET
GAINESVILLE, ALACHUA COUNTY, FL. 32601

ISSUED

DATE: 1/10/2022
ISSUED FOR: CONSTRUCTION DOCUMENTS

REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT NO.: 21088-00
DRAWN BY: WFA
PROJECT MANAGER: KJB
CHECKED BY: KJB
DATE: 1/10/2022
SCALE: 3/8" = 1'-0"

AD101
DEMOLITION PARTIAL
FIRST FLOOR PLAN



COPYRIGHT BESSOLO DESIGN GROUP, INC.
THIS DRAWING AND ALL INFORMATION CONTAINED, INCLUDING ALL
RELATED DIGITAL DRAWINGS OR FILES HEREIN ARE THE EXCLUSIVE
PROPERTY OF BESSOLO DESIGN GROUP, INC. SHALL NOT BE COPIED OR
USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF
BESSOLO DESIGN GROUP, INC. AND MUST BE RETURNED UPON REQUEST.
ALL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION
PURPOSES UNLESS SIGNED AND SEALED BY KEVIN J. BESSOLO.

AL101
LIFE SAFETY
PARTIAL FIRST
FLOOR PLAN

PROFESSIONAL SEAL

KEVIN J. BESSOLO
AR12069

(COPYRIGHT BESSOLO DESIGN GROUP, INC.
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN ARE THE EXCLUSIVE
PROPERTY OF BESSOLO DESIGN GROUP, INC. AND SHALL NOT BE COPIED OR
USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF
BESSOLO DESIGN GROUP, INC. AND MUST BE RETURNED UPON REQUEST.
ALL DIMENSIONS ARE PRELIMINARY AND NOT FOR CONSTRUCTION
PURPOSES. UNLESS SHOWN AND SEALED BY KEVIN J. BESSOLO.

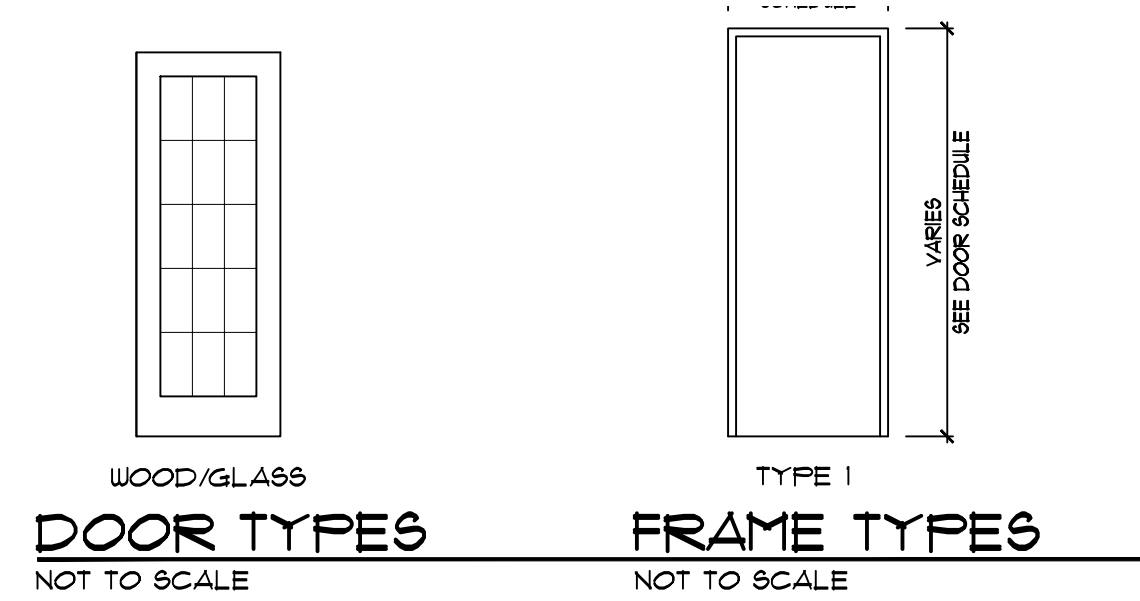
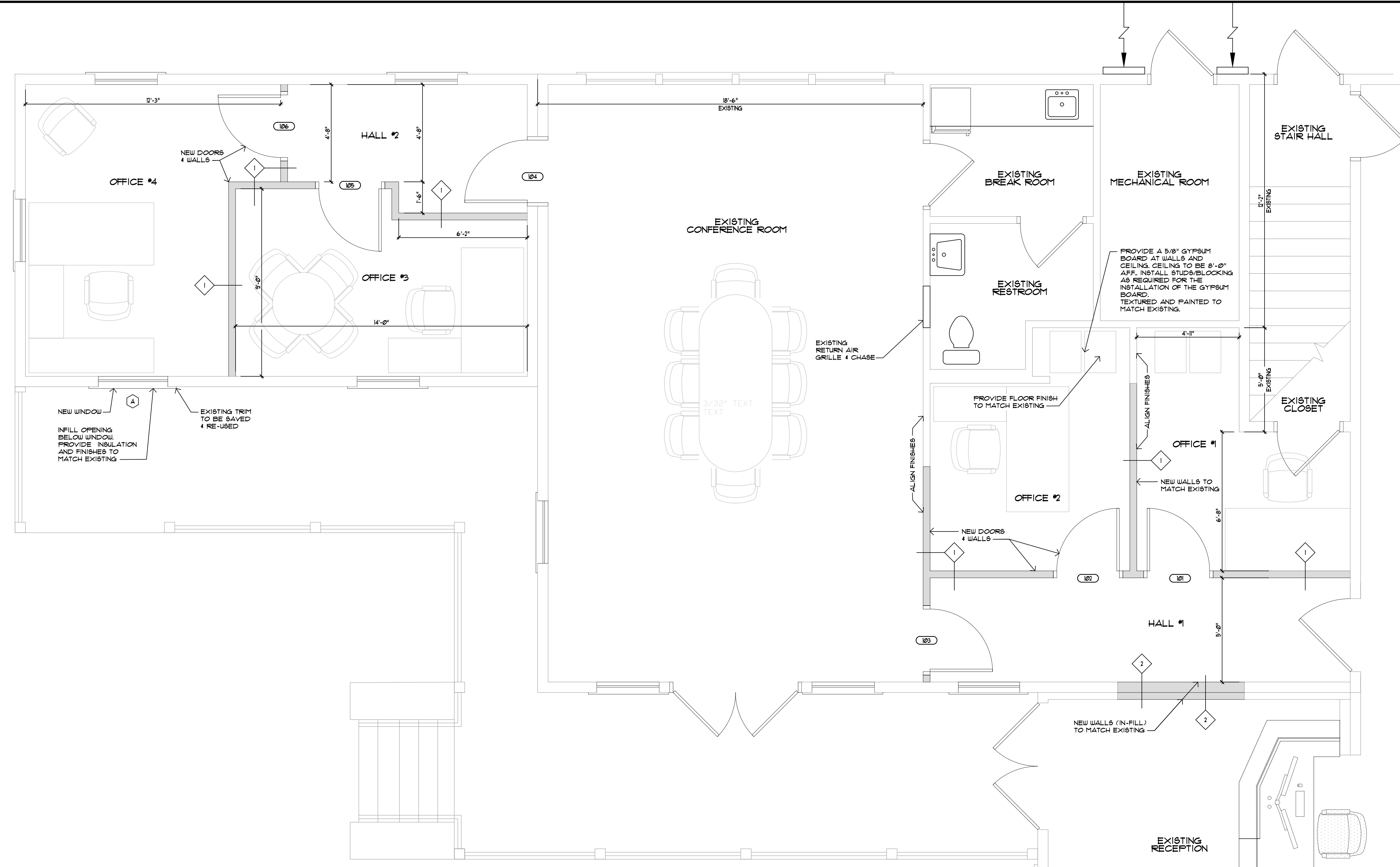
**ALACHUA COUNTY
HOUSING AUTHORITY**
103 NORTHEAST 1ST STREET
GAINESVILLE, ALACHUA COUNTY, FL. 32601

ISSUED
DATE: 1/10/2022
ISSUED FOR: CONSTRUCTION DOCUMENTS

REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT NO.: 21088-000
DRAWN BY: WFA
PROJECT MANAGER: KJB
CHECKED BY: KJB
DATE: 1/10/2022
SCALE: 3/8" = 1'-0"

A101
PROPOSED PARTIAL
FIRST FLOOR PLAN



GENERAL DOOR SCHEDULE NOTES

1. NEW DOORS AND DOOR FRAMES TO MATCH EXISTING SIZE AND FINISHES.
2. DOOR HARDWARE TO MATCH EXISTING. PROVIDE DOOR STOPS. KEY PER OWNERS DIRECTION.

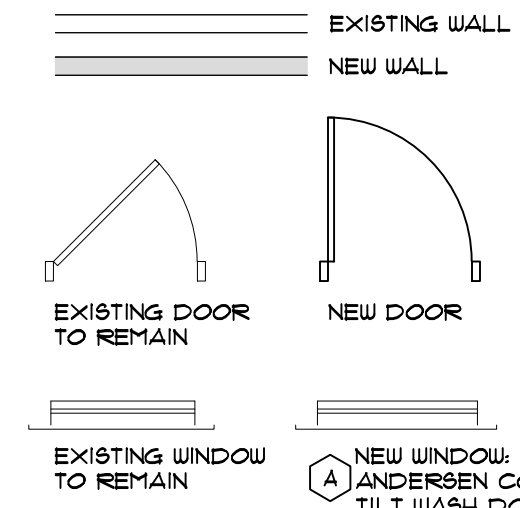
GENERAL WINDOW NOTES

1. NEW WINDOWS, TRIM AND SILL TO MATCH EXISTING.
2. WINDOW FINISH AND TINT TO MATCH EXISTING.

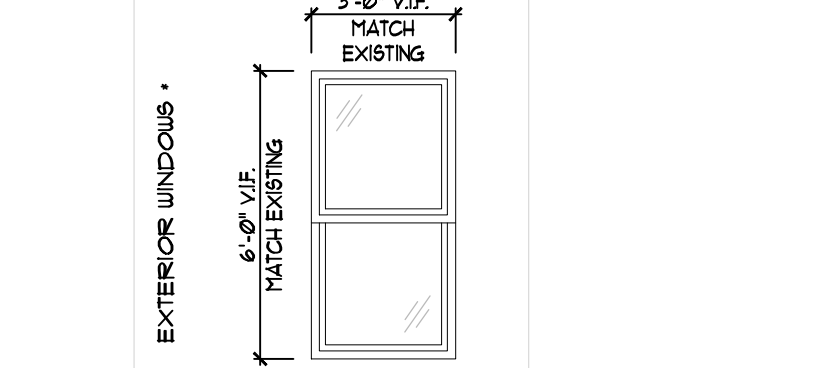
DOOR SCHEDULE										
DOOR TAG	ROOM NAME	DOOR			FRAME		DETAILS			REMARKS
		SIZE	TYPE	MATERIAL	FINISH	TYPE	HEAD	JAMB	HARDWARE SET	
101	OFFICE #1	3'-0" X 8'-0"	SINGLE PRE-HUNG	WOOD/GLASS	STAINED	WOOD			PRIVACY	MATCH EXISTING
102	OFFICE #2	3'-0" X 8'-0"	SINGLE PRE-HUNG	WOOD/GLASS	STAINED	WOOD			PRIVACY	MATCH EXISTING
103	HALL #1	3'-0" X 8'-0"	SINGLE PRE-HUNG	WOOD/GLASS	STAINED	WOOD			DUMMY	MATCH EXISTING
104	HALL #2	3'-0" X 8'-0"	SINGLE PRE-HUNG	WOOD/GLASS	STAINED	WOOD			DUMMY	MATCH EXISTING
105	OFFICE #3	3'-0" X 8'-0"	SINGLE PRE-HUNG	WOOD/GLASS	STAINED	WOOD			PRIVACY	MATCH EXISTING
106	OFFICE #4	3'-0" X 8'-0"	SINGLE PRE-HUNG	WOOD/GLASS	STAINED	WOOD			PRIVACY	MATCH EXISTING

WINDOW SCHEDULE										
WINDOW TAG	WINDOW				FRAME		DETAILS			REMARKS
	STYLE	W	H	GLASS	FINISH	TYPE	HEAD	JAMB	SILL	
A	SINGLE HUNG	3'-0"	6'-8"	LOW E INSULATED IMPACT RATED GLASS	PRE-FINISH	ALUM	2/A101		1/A101	W/ SCREEN

WALL LEGEND



WINDOW TYPE A - OPERABLE



PROPOSED PARTIAL FIRST FLOOR PLAN
SCALE: 3/8" = 1'-0"

GENERAL NOTES

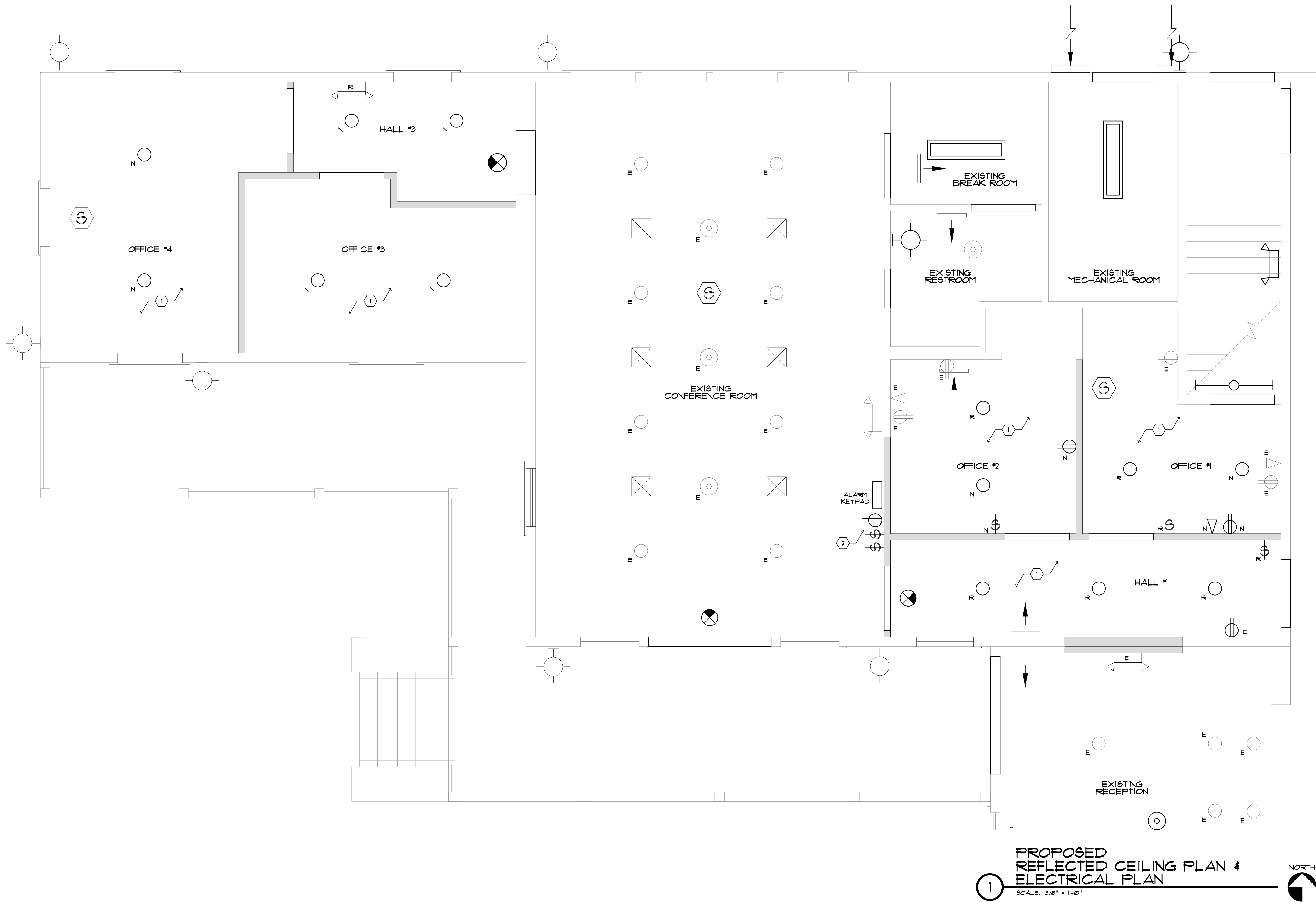
1. FOR ABBREVIATIONS, LEGENDS & SYMBOLS, SEE DRAWING 0001.
2. COORDINATE THIS DRAWING WITH MECHANICAL AND ELECTRICAL DRAWINGS.
3. ALL DIMENSIONS SHOWN ARE AS FOLLOWS:
 - FACE OF EXISTING CONSTRUCTION TO FACE OF CONCRETE WALL
 - FACE OF EXISTING CONSTRUCTION TO FACE OF METAL FRAMING
 - FACE OF METAL FRAMING TO FACE OF METAL FRAMING
4. FURNITURE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
 - FURNITURE NOT IN CONTRACT
 - COORDINATE ALL FURNITURE WITH CLIENT.

RENOVATION NOTES

1. THE EXISTING CONDITIONS SHOWN ON THESE DRAWINGS ARE BASED ON THE INFORMATION PROVIDED TO THE ARCHITECT. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE JOB SITE AND NOTIFY THE ARCHITECT OF ANY DEVIATIONS FROM THESE DRAWINGS PRIOR TO FABRICATING AND INSTALLATION OF ANY WORK.
2. MAINTAIN FREE, SAFE AND APPROVED MEANS OF EGRESS IN AND OUT OF THE BUILDING IN ACCORDANCE WITH REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION.
3. PATCH/REPAIR ANY DAMAGE THAT WAS THE RESULT OF CONSTRUCTION ACTIVITIES.
4. NEW CEILING / WALL TEXTURE, PAINT COLOR, AND PAINT SHEEN TO MATCH EXISTING.
5. FIELD VERIFY ALL DIMENSIONS.

WALL PARTITION TYPES

1. 2X4 WOOD STUD WALL @ 16" O.C. 5/8" GYPSUM BOARD PAINTED ON BOTH SIDE



GENERAL REFLECTED CEILING NOTES

- FOR ABBREVIATIONS, LEGENDS, & SYMBOLS NOT SHOWN, SEE DRAWING G001.
- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THIS REFLECTED CEILING PLAN WITH THE ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY & RETURN AND EXHAUST PLANS. REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCY OR OMISSIONS THAT ARE DISCOVERED.
- ONLY CEILING MOUNTED EXIT SIGNS ARE SHOWN ON THE REFLECTED CEILING PLANS. REFER TO THE ELECTRICAL DRAWINGS FOR LOCATION OF WALL MOUNTED EXIT SIGNS.
- THE CONTRACTOR SHALL PROVIDE ACCESS PANELS IN GYPSUM WALLBOARD CEILINGS SO THAT THE ARCHITECT AND THE STATE AND LOCAL OFFICIALS CAN INSPECT RATED WALLS. ARCHITECT SHALL BE PROVIDED A LAYOUT FOR APPROVAL PRIOR TO INSTALLATION. THESE ACCESS PANELS WILL BE LOCATED AT INTERVALS NOT TO EXCEED 30'-0" ON CENTER, MINIMUM OF ONE PER SPACE, AND IN SUCH MULTIPLE LOCATIONS AS NECESSARY TO VIEW ALL SURFACES OF THE RATED WALLS.
- ALL SMOKE DETECTORS SHALL BE MINIMUM OF 3'-0" FROM ANY HVAC DIFFUSERS.
- ALL CEILINGS AND CEILING HEIGHTS ARE EXISTING.

REFLECTED CEILING TYPES IN PLAN

GYP CEILING-PAINTED

REFLECTED CEILING PLAN SYMBOLS

- | | | | | |
|----------------------------------|-----------------------------|-------------------|---|------------------------|
| ○ SURFACE MOUNTED LUMINAIRE | ⊠ AIR RETURN | ⬇ SIDE AIR RETURN | ○ EXISTING SURFACE MOUNTED LUMINAIRE | ▽ EXISTING DATA OUTLET |
| ⊙ PENDANT LUMINAIRE | ⊠ AIR SUPPLY | | ○ RELOCATED SURFACE MOUNTED LUMINAIRE ON EXISTING CIRCUIT | ▽ NEW DATA OUTLET |
| ⊙ WALL MOUNTED LUMINAIRE | ⊙ SMOKE DETECTOR | | ○ NEW SURFACE MOUNTED LUMINAIRE ON EXISTING CIRCUIT | |
| ▬ 1'x4' RECESSED LUMINAIRE | ⊙ CEILING MOUNTED EXIT SIGN | | | |
| — 4' FLUORESCENT STRIP LUMINAIRE | | | | |
- FIGURE DESIGNATIONS:
E = EXISTING
R = RELOCATED
N = NEW

ELECTRICAL NOTES

- USE EXISTING CIRCUITS IN AREA FOR LIGHTING AND RECEPTACLES.
- PLACE EXISTING CONFERENCE ROOM SWITCHES, RECEPTACLES AND ALARM KEYPAD IN THIS AREA.

PROFESSIONAL SEAL

KEVIN J. BESSOLO
AR12069

(COPYRIGHT BESSOLO DESIGN GROUP, INC.
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF BESSOLO DESIGN GROUP, INC. AND SHALL NOT BE COPIED OR USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF BESSOLO DESIGN GROUP, INC. AND MUST BE RETURNED UPON REQUEST. ALL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION PURPOSES. UNLESS SIGNED AND SEALED BY KEVIN J. BESSOLO.)

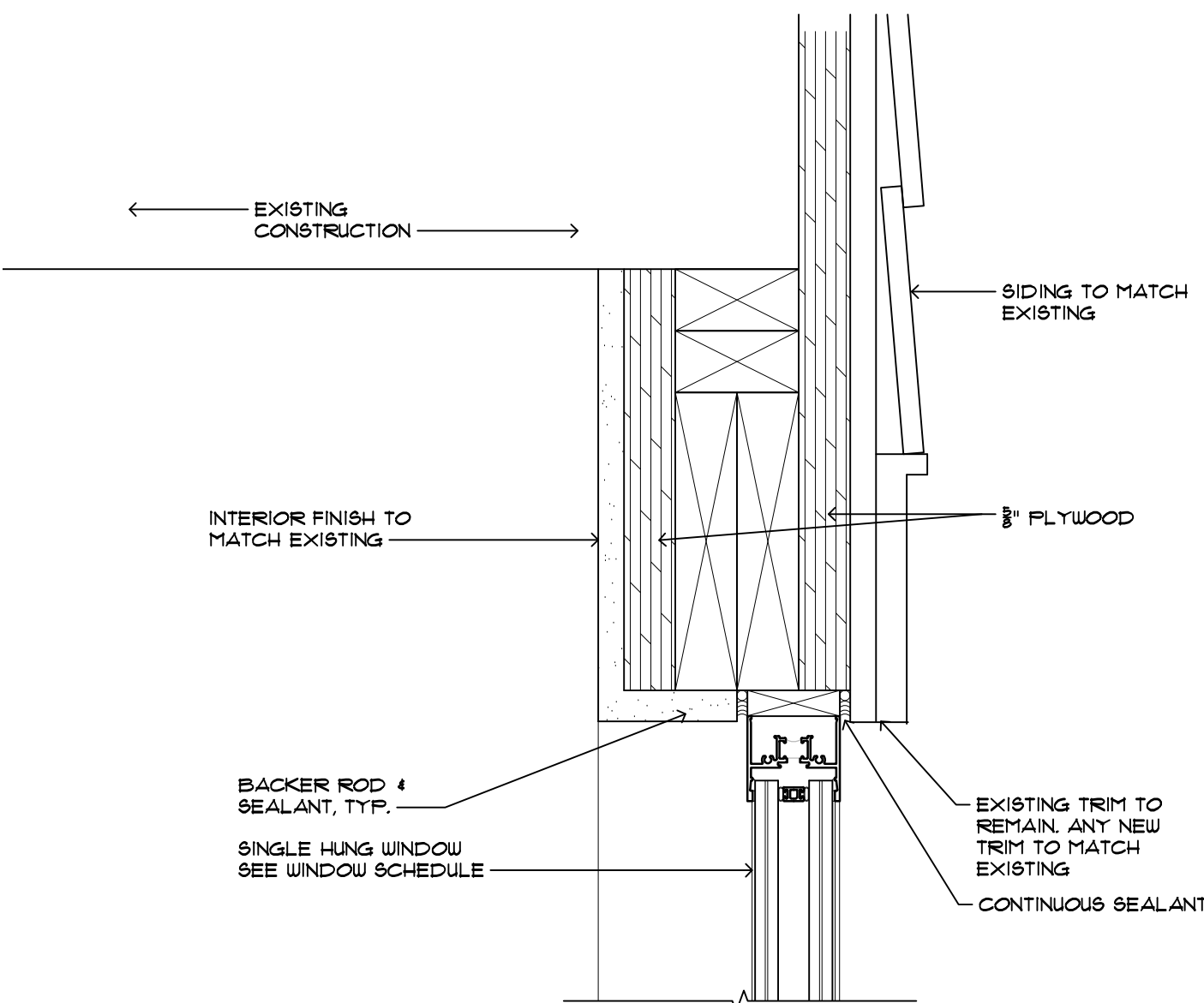
**ALACHUA COUNTY
HOUSING AUTHORITY**
103 NORTHEAST 1ST STREET
GAINESVILLE, ALACHUA COUNTY, FL. 32601

ISSUED	
DATE:	ISSUED FOR:
1/10/2022	CONSTRUCTION DOCUMENTS

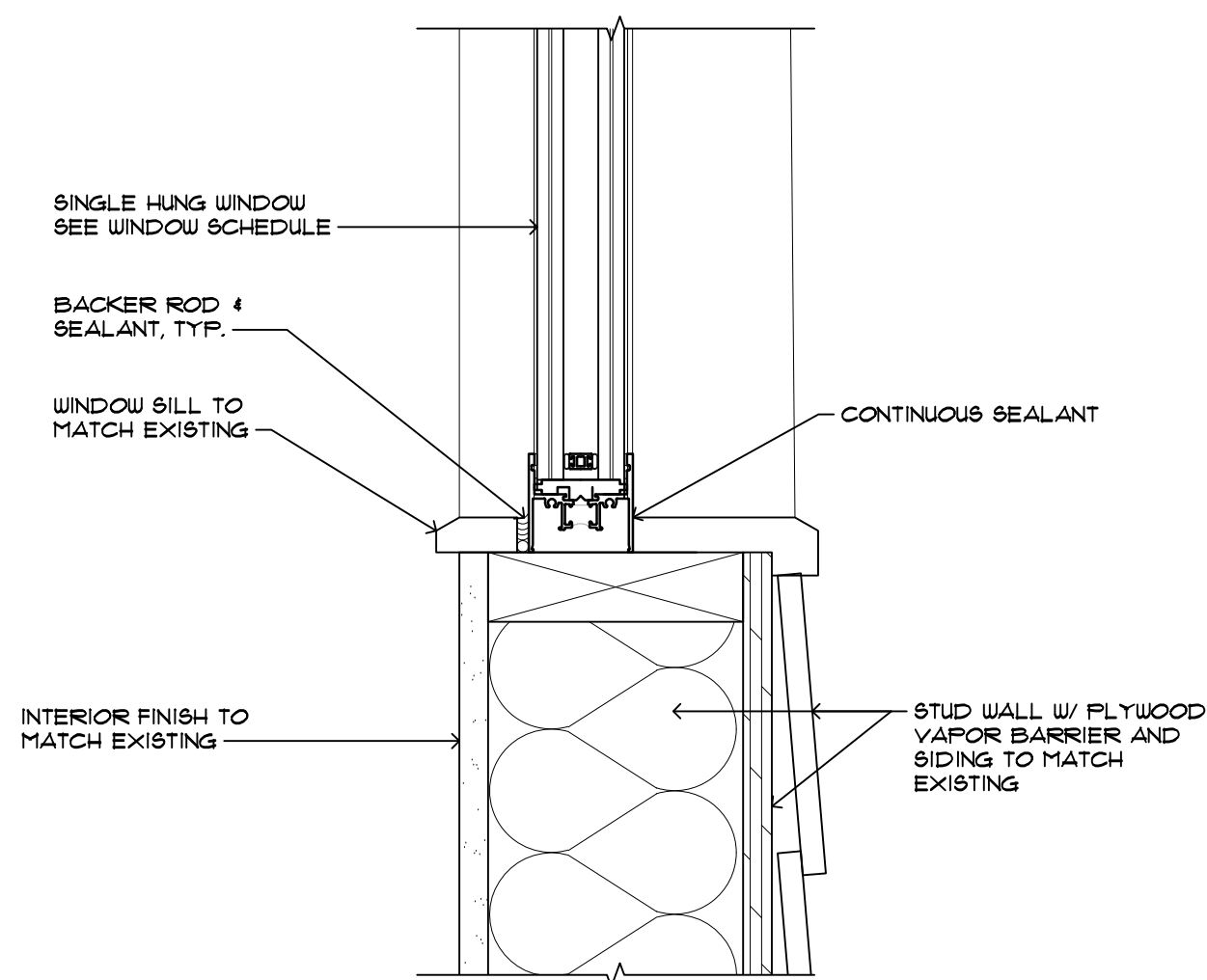
REVISIONS		
NO.	DATE:	DESCRIPTION

PROJECT NO.: 21088-00
DRAWN BY: WFA
PROJECT MANAGER: KJB
CHECKED BY: KJB
DATE: 1/10/2022
SCALE: 3/8" = 1'-0"

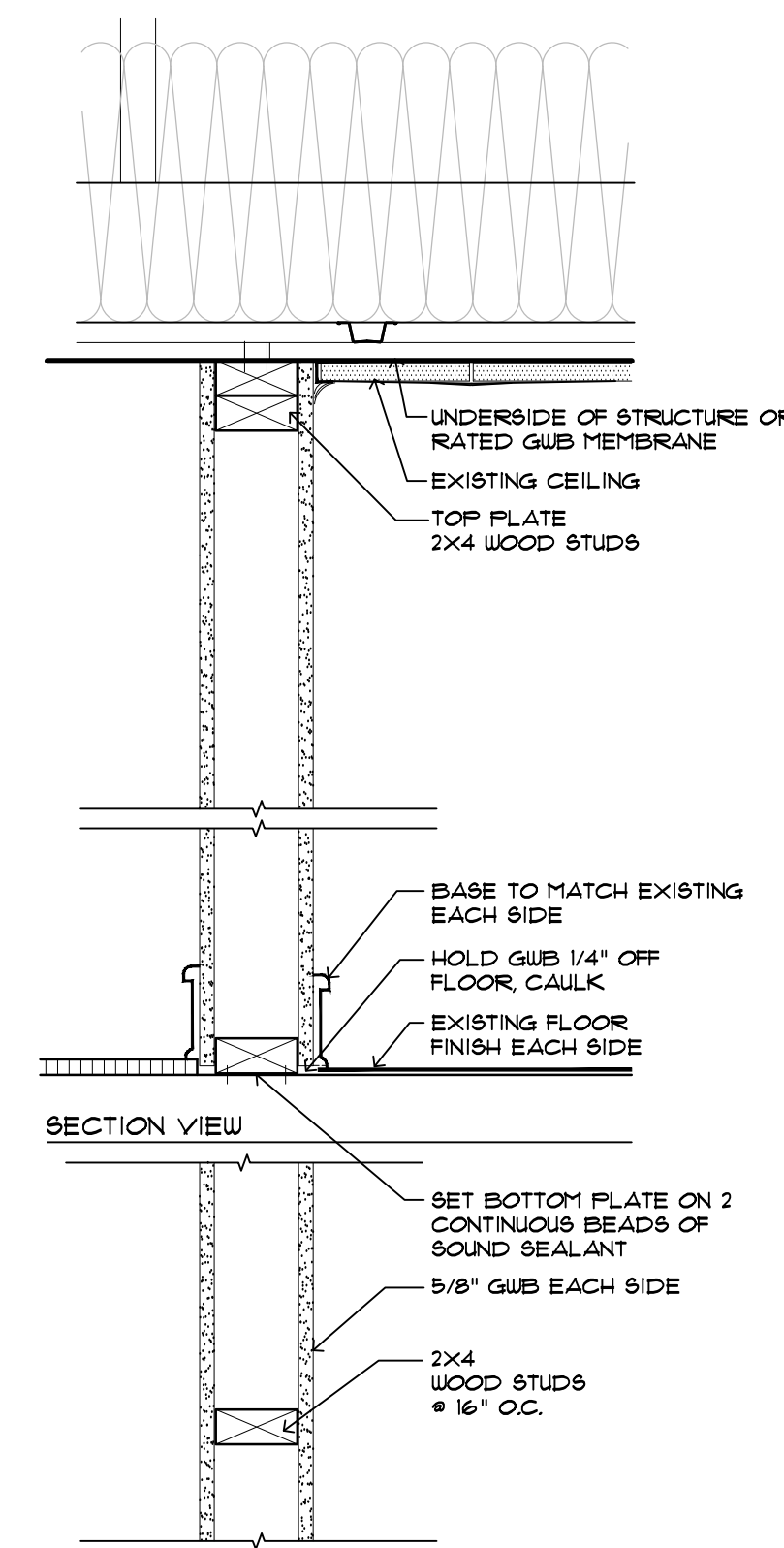
AR101
PROPOSED
RCP &
ELECTRICAL PLAN



2
TYPICAL EXTERIOR WALL WINDOW HEAD DETAIL
SCALE: 3/8" = 1'-0"

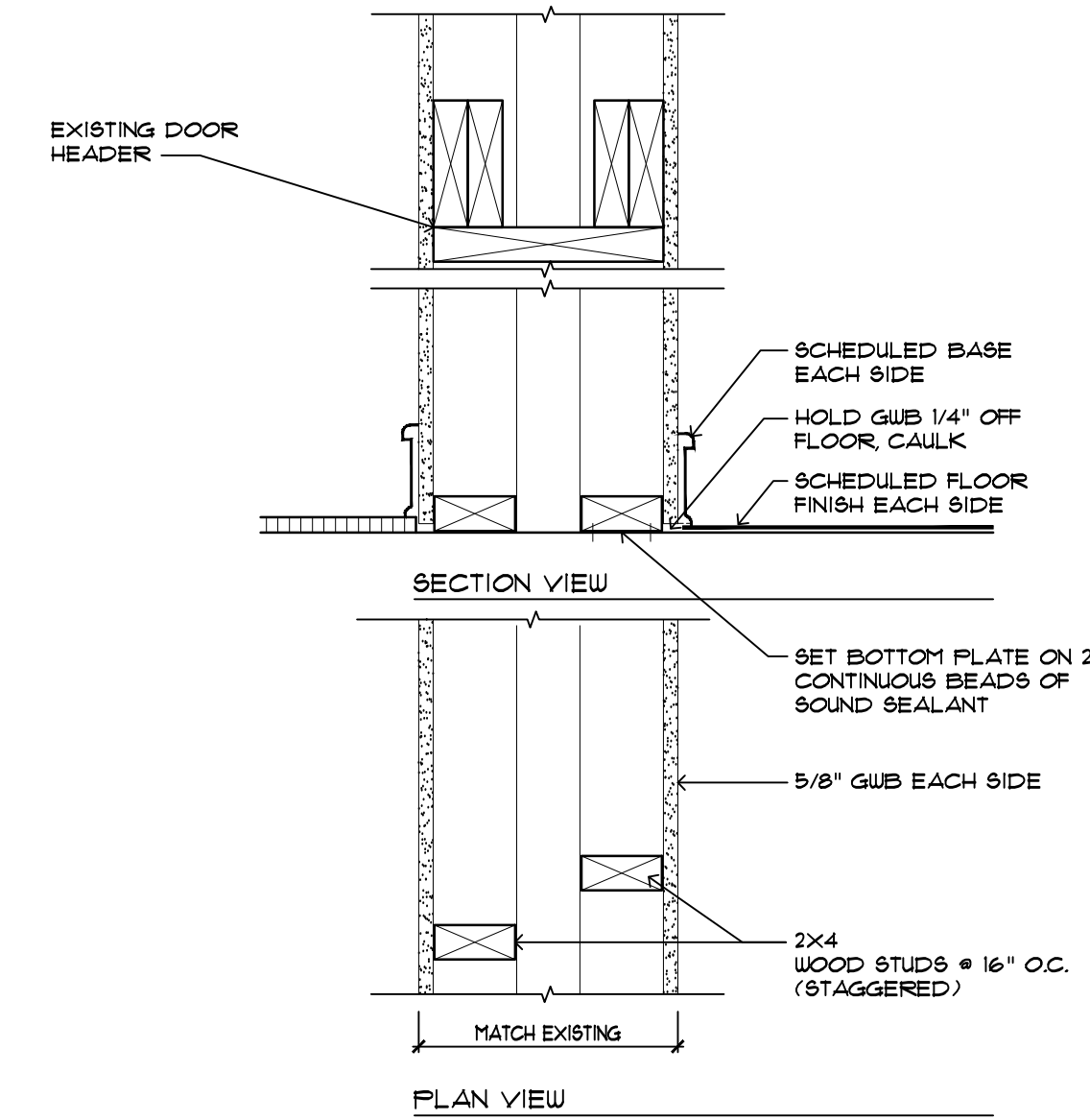


1
TYPICAL EXTERIOR WALL WINDOW JAMB DETAIL
SCALE: 3/8" = 1'-0"



PLAN VIEW

WALL TYPE - 1
NON RATED
WOOD STUD PARTITION



PLAN VIEW

WALL TYPE - 2
NON RATED
WOOD STUD INFILL PARTITION

PROFESSIONAL SEAL

KEVIN J. BESSOLO
AR12069
COPYRIGHT BESSOLO DESIGN GROUP, INC.
THE DRAWING AND ALL INFORMATION CONTAINED HEREIN ARE THE EXCLUSIVE PROPERTY OF BESSOLO DESIGN GROUP, INC. AND MUST BE RETURNED UPON REQUEST. ALL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION PURPOSES. VALUES SHOWN ARE BASED ON BESSOLO DESIGN GROUP, INC. DATA.

**ALACHUA COUNTY
HOUSING AUTHORITY**
103 NORTHEAST 1ST STREET
GAINESVILLE, ALACHUA COUNTY, FL. 32601

ISSUED	
DATE:	ISSUED FOR:
1/10/2022	CONSTRUCTION DOCUMENTS

REVISIONS		
NO.	DATE:	DESCRIPTION

PROJECT NO.:	21088-00
DRAWN BY:	WFA
PROJECT MANAGER:	KJB
CHECKED BY:	KJB
DATE:	1/10/2022
SCALE:	3/8" = 1'-0"

PROFESSIONAL SEAL

KEVIN J. BESSOLO
AR12069

(COPYRIGHT BESSOLO DESIGN GROUP, INC.
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN ARE THE EXCLUSIVE
PROPERTY OF BESSOLO DESIGN GROUP, INC. AND SHALL NOT BE COPIED OR
USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF
BESSOLO DESIGN GROUP, INC. AND MUST BE RETURNED UPON REQUEST.
ALL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION
PURPOSES. UNLESS NOTED AND SEALED BY KEVIN J. BESSOLO.

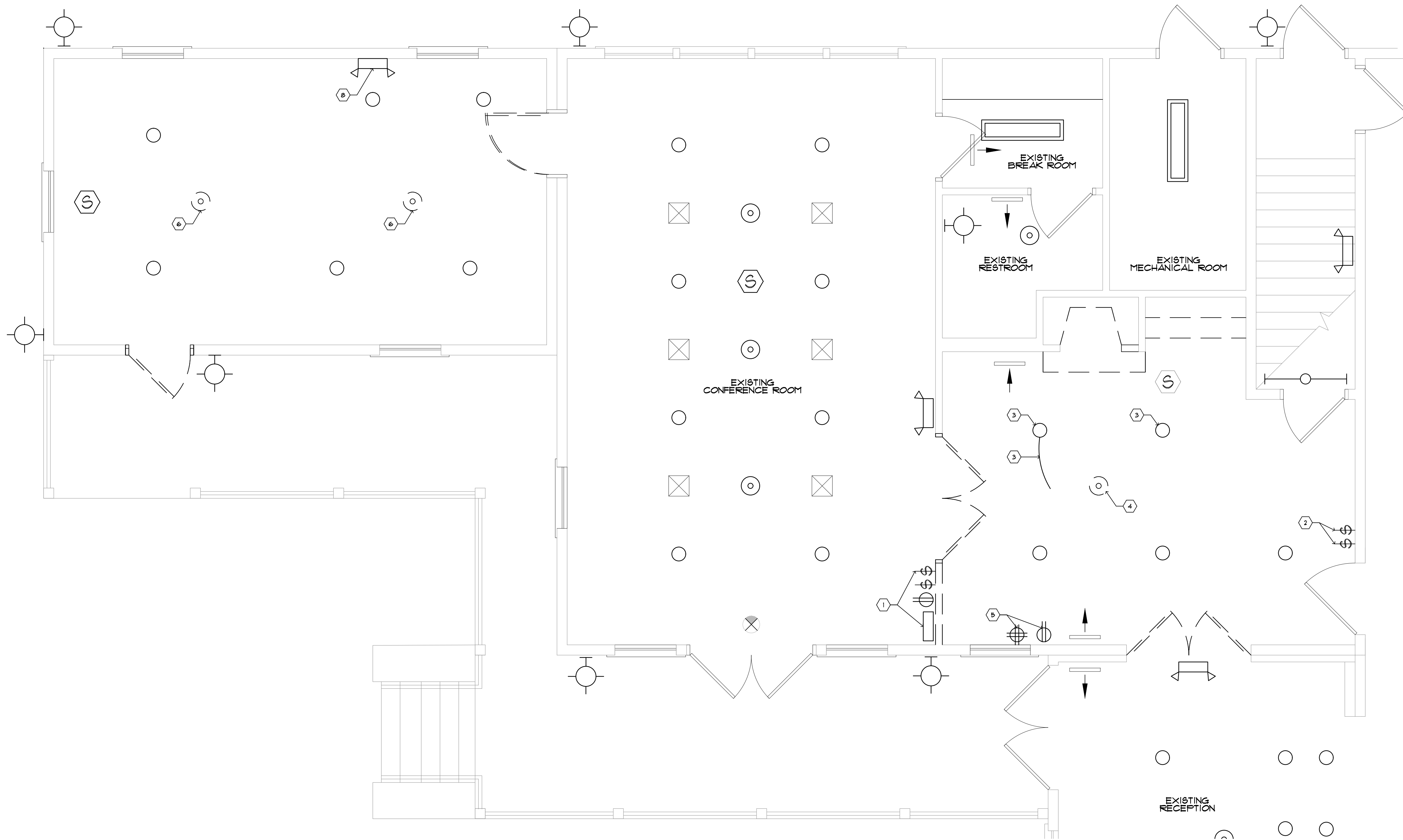
**ALACHUA COUNTY
HOUSING AUTHORITY**
103 NORTHEAST 1ST STREET
GAINESVILLE, ALACHUA COUNTY, FL. 32601

ISSUED
DATE: 1/10/2022
ISSUED FOR: CONSTRUCTION DOCUMENTS

REVISIONS		
NO.	DATE	DESCRIPTION

PROJECT NO.: 21088-00
DRAWN BY: WFA
PROJECT MANAGER: KJB
CHECKED BY: KJB
DATE: 1/10/2022
SCALE: 3/8" = 1'-0"

ED101
DEMOLITION RCP &
ELECTRICAL PLAN



GENERAL REFLECTED CEILING NOTES

- FOR ABBREVIATIONS, LEGENDS, & SYMBOLS NOT SHOWN, SEE DRAWING 0001.
- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THIS REFLECTED CEILING PLAN WITH: THE ELECTRICAL LIGHTING PLANS, MECHANICAL SUPPLY & RETURN AND EXHAUST PLANS, AND THE FIRE PROTECTION PLANS. HE WILL REPORT TO THE ARCHITECT ANY ERRORS, INCONSISTENCY OR OMISSIONS THAT HE MAY DISCOVER.
- ONLY CEILING MOUNTED EXIT SIGNS ARE SHOWN ON THE REFLECTED CEILING PLANS. REFER TO THE ELECTRICAL DRAWINGS FOR LOCATION OF WALL MOUNTED EXIT SIGNS.
- THE CONTRACTOR SHALL VERIFY THAT ACCESS PANELS OF APPROPRIATE SIZE AND TYPE ARE INSTALLED IN GYPSUM WALLBOARD CEILING SOFFITS, IN CEMENT PLASTER CEILINGS OR SOFFITS, AND IN OTHER NON-ACCESSIBLE TYPE CEILINGS OR SOFFITS WHERE ACCESS, SERVICE OR ADJUSTMENT TO MECHANICAL, PLUMBING OR ELECTRICAL ITEMS MAY BE REQUIRED. ACCESS PANELS SHALL BE THE FIRE RATED TYPE EQUAL TO THE RATING OF THE CEILING OR SOFFIT IN WHICH THEY OCCUR.
- COORDINATE ELECTRICAL DRAWINGS AND/OR THE COMMUNICATIONS DRAWINGS FOR LOCATIONS OF CEILING MOUNTED SMOKE DETECTORS, SPEAKERS, FIRE ALARM DEVICES, ETC.
- THE CONTRACTOR WILL ADVISE THE OWNER AND TENANTS THAT AN 18" MINIMUM VERTICAL CLEARANCE SHALL BE MAINTAINED BETWEEN THE BOTTOM OF THE EXTENDED SPRINKLER HEADS AND THE TOP OF ANY FILES, SHELVING, LOCKERS, ETC. THE CONTRACTOR WILL ALSO ADVISE THE OWNER AND TENANTS THAT ITEMS SHALL NOT BE PLACED OR STORED ON TOP OF SUCH SHELVING SO THAT THIS CODE REQUIRED 18" MINIMUM VERTICAL CLEARANCE WILL BE MAINTAINED.
- THE CONTRACTOR SHALL PROVIDE ACCESS PANELS IN GYPSUM WALLBOARD CEILINGS SO THAT THE ARCHITECT AND THE STATE AND LOCAL OFFICIALS CAN INSPECT RATED WALLS. ARCHITECT SHALL BE PROVIDED A LAYOUT FOR APPROVAL PRIOR TO INSTALLATION. THESE ACCESS PANELS WILL BE LOCATED AT INTERVALS NOT TO EXCEED 30'-0" ON CENTER, MINIMUM OF ONE PER SPACE, AND IN SUCH MULTIPLE LOCATIONS AS NECESSARY TO VIEW ALL SURFACES OF THE RATED WALLS.
- ALL SMOKE DETECTORS SHALL BE MINIMUM OF 3'-0" FROM ANY HVAC DIFFUSERS.
- ALL CEILING HEIGHTS ARE EXISTING UNLESS OTHERWISE NOTED.

EXISTING REFLECTED CEILING TYPES IN PLAN

TYPE 'E'
GYP. CEILING-PAINTED

EXISTING REFLECTED CEILING PLAN SYMBOLS

- | | | |
|------------------------------------|-----------------------------|-------------------|
| ○ SURFACE MOUNTED LUMINAIRE | ⊠ AIR RETURN | ↑ SIDE AIR RETURN |
| ⊙ PENDANT LUMINAIRE | ⊠ AIR SUPPLY | |
| ⊙ WALL MOUNTED LUMINAIRE | ⊙ SMOKE DETECTOR | |
| ▬ 1'x4' RECESSED LUMINAIRE | ⊙ CEILING MOUNTED EXIT SIGN | |
| —○— 4' FLUORESCENT STRIP LUMINAIRE | | |

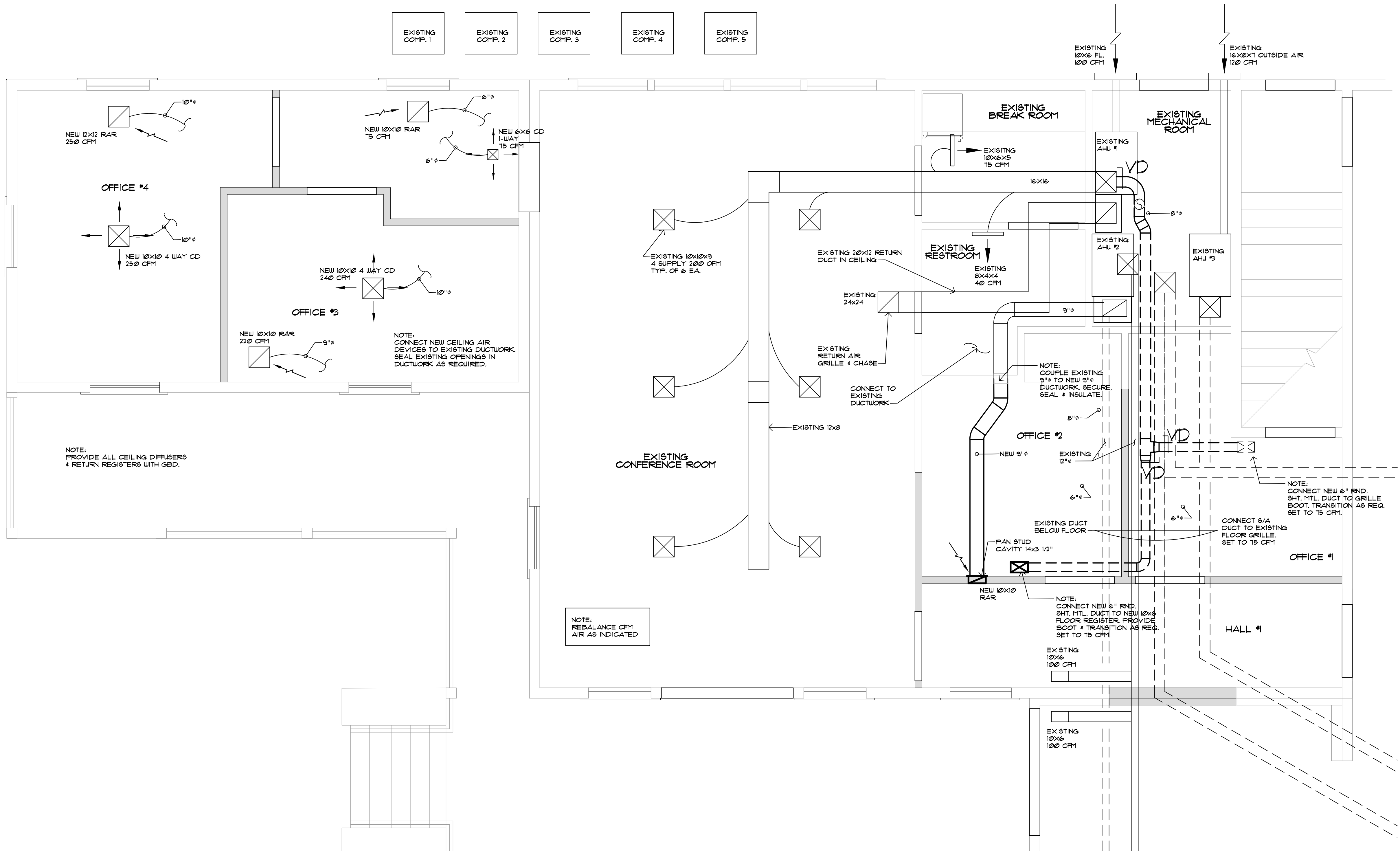
KEYPLAN

- SWITCH, RECEPTACLE, & ALARM KEYPAD TO BE PLACED ON NEW WALL. SEE AR101 REFLECTED CEILING PLAN FOR DETAILS.
- RELOCATE EXISTING WALL SWITCHES TO BE INSIDE NEW OFFICE AND HALLWAY. SEE AR101 REFLECTED CEILING PLAN FOR DETAILS.
- RELOCATE EXISTING LIGHTING AND CONTROL SWITCHING TO BE INSIDE OF NEW OFFICES. SEE AR101 REFLECTED CEILING PLAN FOR NEW LOCATION.
- REMOVE EXISTING PENDANT LIGHTING.
- EXISTING DATA CIRCUIT AND RECEPTACLE TO BE RELOCATED IN NEW OFFICE #1.
- EXISTING ELECTRICAL PENDANT LIGHTING AND DEMO PLAN SWITCHING.
- NOT USED.
- RELOCATE EXISTING BATTERY PACK LIGHTING TO NEW HALL LOCATION. SEE AR101 REFLECTED CEILING PLAN FOR DETAILS.

DEMOLITION REFLECTED CEILING PLAN & ELECTRICAL PLAN

SCALE: 3/8" = 1'-0"





AIR DEVICE NOTES:

1. REFER TO PLANS FOR ALL CONNECTION SIZES.
2. ALL OUTLET SHALL BE SELECTED AT A MAXIMUM OF NC 25.
3. THE AIR DEVICE MANUFACTURER SHALL PROVIDE PUBLISHED PERFORMANCE DATA. DATA SHALL BE TESTED IN ACCORDANCE TO ANSI/ASHRAE STANDARD 10 2006.
4. CEILING DIFFUSERS AND RETURN/EXHAUST GRILLES MOUNTED IN HARD CEILING ARE TO BE LAY-IN DIFFUSERS INSTALLED USING AN ALUMINUM T-BAR MOUNTING FRAME. CEILING HOODS 24x24 (SEE PLANS). CONTRACTOR TO VERIFY CEILING TYPE AND COLOR BY OWNER.
5. ALL AIR REGISTERS TO INCLUDE AN ALUMINUM OPPOSED BLADE DAMPER TO BE USED AS FINAL BALANCING.

NOTE:
PROVIDE ALL CEILING DIFFUSERS
4 RETURN REGISTERS WITH GBC.

NOTE:
CONNECT NEW CEILING AIR
DEVICES TO EXISTING DUCTWORK.
SEAL EXISTING OPENINGS IN
DUCTWORK AS REQUIRED.

NOTE:
REBALANCE CFM
AIR AS INDICATED

NOTE:
COUPLE EXISTING
9" TO NEW 9" DUCTWORK. SECURE
SEAL 4 INSULATE.

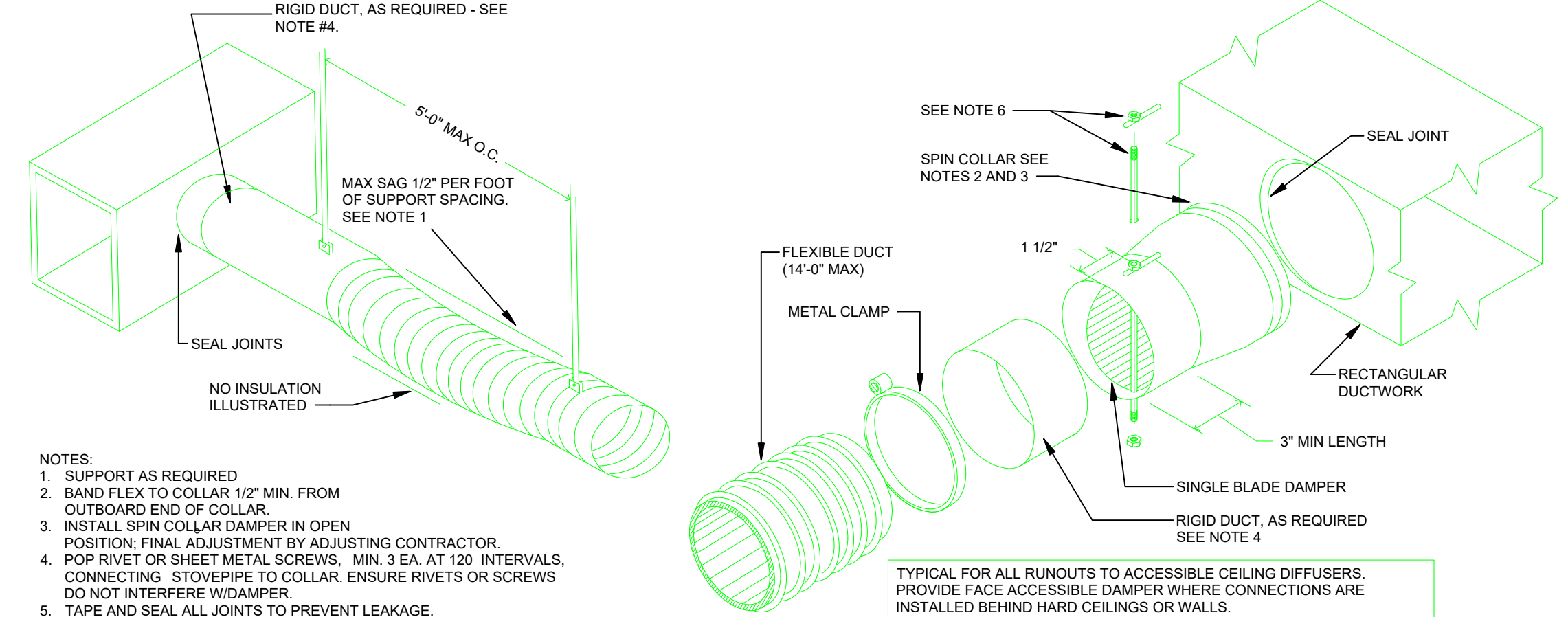
NOTE:
CONNECT NEW 6" RND.
SHUT. MTL. DUCT TO NEW 10x6
FLOOR REGISTER. PROVIDE
BOOT 4 TRANSITION AS REQ.
SET TO 15 CFM.

NOTE:
CONNECT NEW 6" RND.
SHUT. MTL. DUCT TO GRILLE
BOOT. TRANSITION AS REQ.
SET TO 15 CFM.

PROPOSED MECHANICAL PLAN

SCALE: 3/8" = 1'-0"

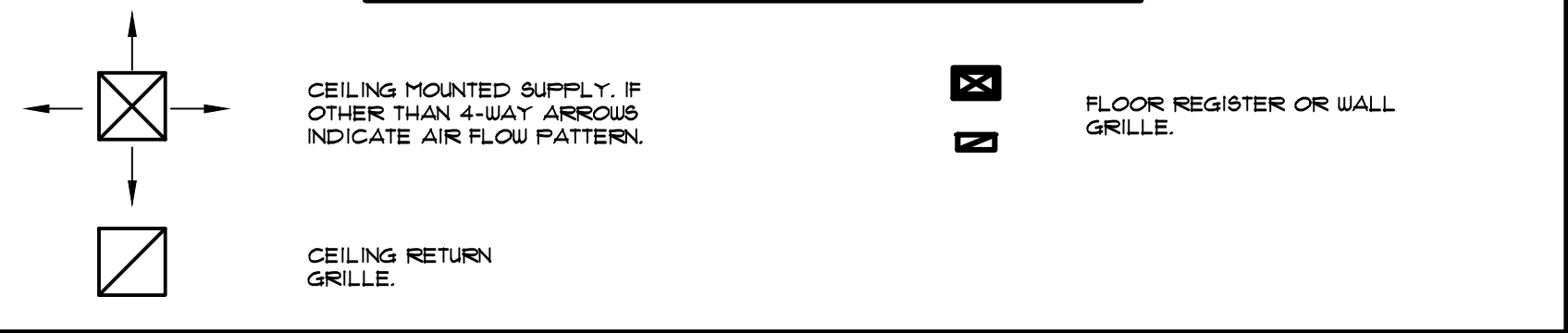
NORTH



FLEXIBLE DUCT AND TAP

SCALE: NOT TO SCALE

HYAC SYMBOLS



BESSOLO
DESIGN GROUP, INC.
ARCHITECTURE ■ DEVELOPMENT
License: #A-C002117
7901 4TH ST. NORTH, SUITE 200
ST. PETERSBURG, FL 33702
727 894-4453 www.bessolo.com

PROFESSIONAL SEAL

KEVIN J. BESSOLO
AR12069

©COPYRIGHT BESSOLO DESIGN GROUP, INC.
THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN ARE THE EXCLUSIVE
PROPERTY OF BESSOLO DESIGN GROUP, INC. AND SHALL NOT BE COPIED OR
USED IN ANY WAY WITHOUT THE EXPRESS WRITTEN CONSENT OF
BESSOLO DESIGN GROUP, INC. AND MUST BE RETURNED UPON REQUEST.
ALL DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION.
PURPOSES. UNLESS NOTED AND SEALED BY KEVIN J. BESSOLO.

**ALACHUA COUNTY
HOUSING AUTHORITY**
103 NORTHEAST 1ST STREET
GAINESVILLE, ALACHUA COUNTY, FL. 32601

ISSUED

DATE: 1/10/2022
ISSUED FOR: CONSTRUCTION DOCUMENTS

REVISIONS

NO.	DATE	DESCRIPTION

PROJECT NO.: 21088-00
DRAWN BY: WPA
PROJECT MANAGER: KJB
CHECKED BY: KJB
DATE: 1/10/2022
SCALE: 3/8" = 1'-0"

M101

PROPOSED
MECHANICAL PLAN